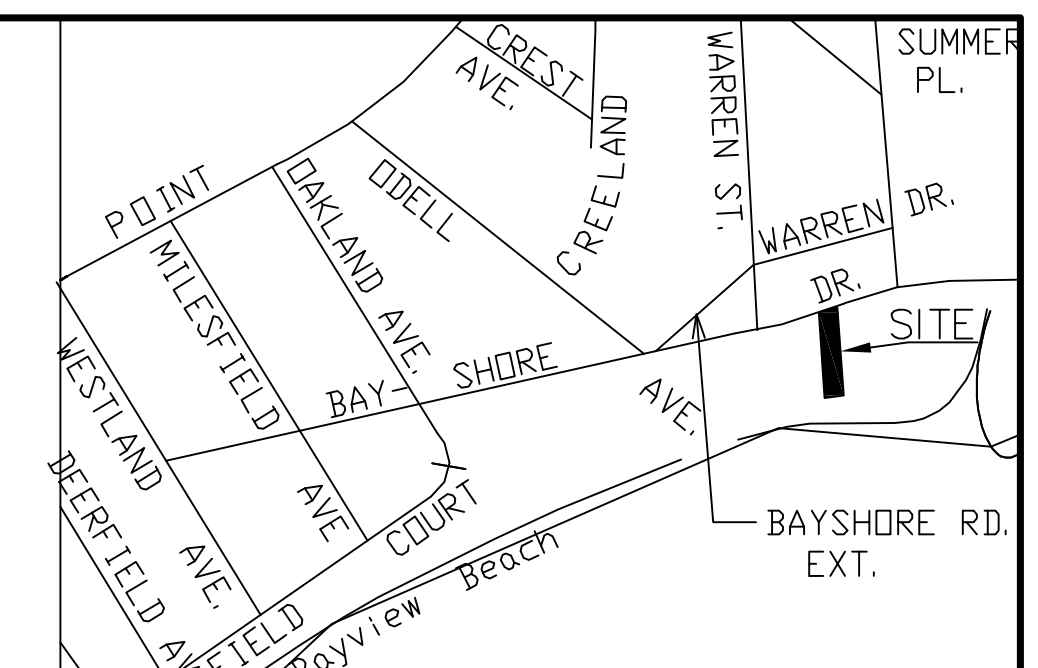
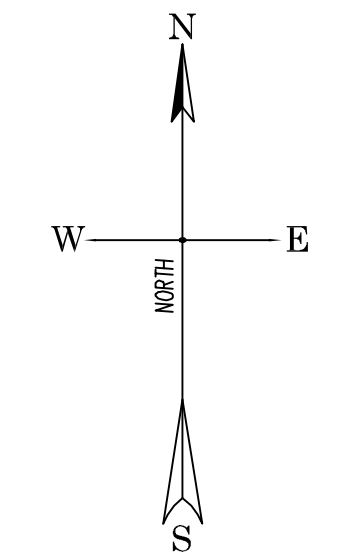
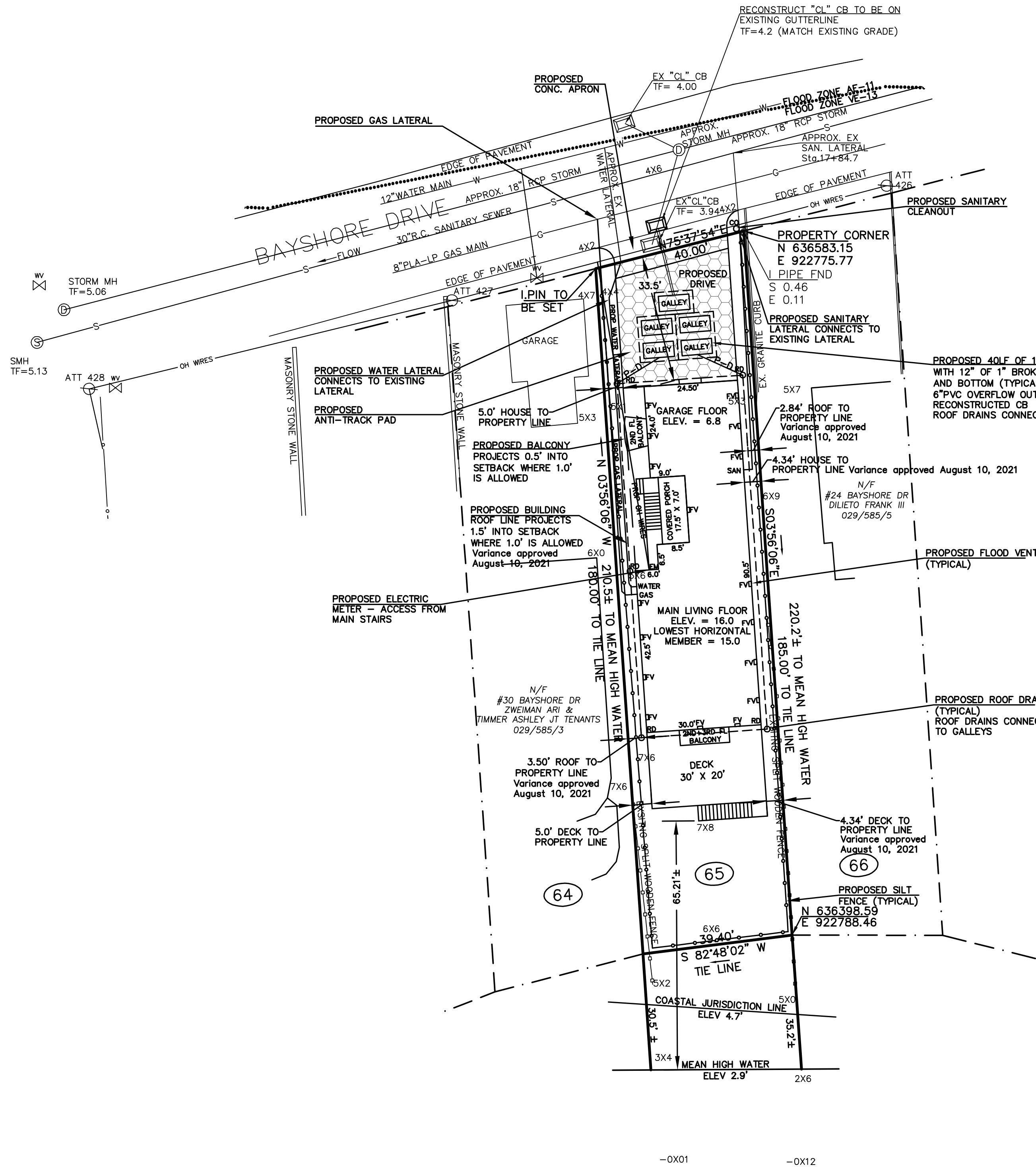


Underground utility, structure and facility locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to C.C.G. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Before You Dig 1-800-922-4455.



LOCUS MAP SCALE 1"=400'
MAP 029 BLOCK 585 PARCEL 4

- LEGEND**
- ⊙ LIGHT POLE
 - ⊠ CATCH BASIN, TYPE "CL"
 - ⊠ CATCH BASIN, TYPE "C"
 - ⊙ STORM SEWER MANHOLE
 - ⊙ SANITARY SEWER MANHOLE
 - DW DRY WELL
 - G GAS
 - ⊕ GAS VALVE
 - W WATER
 - ⊕ WATER VALVE
 - ⊕ WATER SHUTOFF
 - ⊕ EXISTING HYDRANT
 - ⊕ TREE
 - ⊕ SHRUB
 - ⊕ MON
 - ⊕ IRON PIPE
 - ⊕ IRON PIN
 - ⊕ DRILL HOLE
 - ⊕ STONEWALL
 - ⊕ STOCKADE FENCE
 - ⊕ CHAIN LINK FENCE
 - 64 LOT NUMBERS PER MAP 3A
 - 7X9 EXISTING SPOT GRADE
 - 14X9 PROPOSED SPOT GRADE
 - FV FLOOD VENT
 - E ELECTRIC METER
 - ⊕ AC COMPRESSOR
 - ⊕ GAS METER
 - ⊕ TRANSFORMER
 - RD ROOF DRAIN
 - P-D PROPOSED ROOF DRAIN PIPE
 - P-UCE PROPOSED UNDERGROUND ELECTRICAL
 - P-GAS PROPOSED GAS LINE
 - P-San PROPOSED SANITARY SEWER
 - P-W PROPOSED WATER

Zoning Requirements - Zone R-5 (One Family Residential)

Lot and Building Requirements	Minimum Required	Existing Conditions	Proposed Conditions
Minimum Lot Area	5,000 SF	8,471± SF (EXIST)	8,471± SF (EXIST)
Minimum Lot Width	50.0 Feet	39.40 Feet (EXIST)	39.40 Feet (EXIST)
Minimum Lot Depth	70 Feet	215.3± Feet (EXIST)	215.3± Feet (EXIST)
Minimum Front Yard	*	39.79 Feet	33.5 Feet
Minimum One Side Yard**	10 Feet	3.96 Feet	4.34 Feet ***
Minimum Other Side Yard**	5 Feet	4.66 Feet	5.0 Feet
Minimum Rear Yard	20 Feet	69.0± Feet	65.2± Feet
Maximum Permitted			
Building Height Stories	3		
Feet (in height)	35 Feet		35.0 Feet
Building Area as % of Lot	45 %		32.0 %
Lot Coverage	65 %		51.2 %

*Ten Feet Or The Actual Front Yard Setback, Whichever Is Greater, except that the minimum required front yard shall not be required to exceed 20 feet.
**One side 10 feet, other side 5 feet

***Variance approved August 10, 2021

CONSTRUCTION NOTES:

- VERIFY ALL BUILDING DIMENSIONS WITH BUILDING PLAN PRIOR TO CONSTRUCTION
- CONSTRUCT SILT FENCE AROUND PERIMETER OF LOT
- INSTALL ANTI-TRACKING PAD
- CONNECT ROOF DRAINS TO PROPOSED GALLEYS
- PROPOSED BUILDINGS TO BE CONNECTED TO MUNICIPAL SANITARY SEWER AND WATER OR APPROVED SPETIC SYSTEM OR APPROVED WELL.
- RECONSTRUCT CONC. APRON AND CURBING AS REQUIRED BY MILFORD PUBLIC WORKS.
- ALL WORK WITHIN MUNICIPAL STREET TO BE CONDUCTED PER MILFORD PUBLIC WORKS STANDARDS.
- ALL WORK WITHIN CDOT RIGHT OF WAY REQUIRE AN ENCROACHMENT PERMIT FROM CDOT.
- ALL PROPOSED CATCH BASINS TO BE PROVIDED WITH 4' SUMPS AND HOODED OUTLETS

NOTES:

1. The Total Area of the Parcel is 8,471 ± sq. ft.; 0.194 Acres.
2. The Parcel is in Zone R5.
3. Map References:
 - A. Map on File in Milford Land Records, "MAP OF LOTS FOR SALE BY GEORGE E. HASKINS, BAY-VIEW, MILFORD, CT," dated June 30, 1918. MLR #E-330
 - B. Map entitled, "Property Survey, 28 Bayshore Drive, Lot #65, Map of Lots for Sale by George E. Haskins, Bay-View, Milford, Connecticut," dated August 26, 1998.
4. Deed Reference:
 - Volume 2221 Page 662+663
5. The Parcel is in Flood Zone VE-13 as scaled from FIRM, City of Milford, New Haven County, Panel 534 of 635, Community Panel Number 09009C0534J, Map revised 7/8/2013.
6. North Rotation is based on NAD83.
7. Vertical Datum is based on NAVD 1988.
8. Property lies within the Coastal Management Area

NOTES:

This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Survey and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.

It is an Improvement Location Survey based upon a Dependent Resurvey and is intended to depict the position, horizontally and, where required, vertically, between particular existing or proposed improvements with respect to applicable municipal or statutory requirements. The purpose is to enable determination of compliance with said improvements.

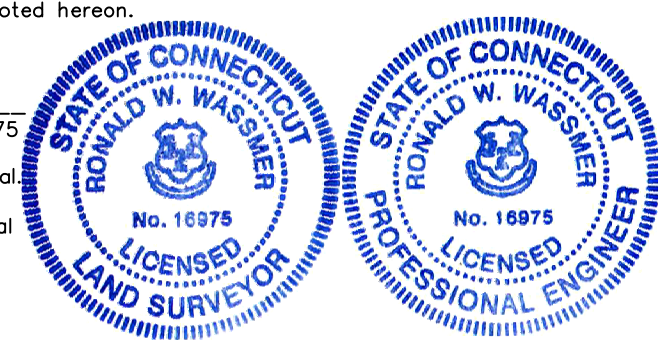
This survey conforms to Horizontal Accuracy Class A-2.

To my knowledge and belief, this map is substantially correct as noted hereon.

Date: Oct. 21, 2021 By: *Ronald W. Wassmer*
Ronald W. Wassmer, PE LS CT Lic. No. 16975

This survey is not valid unless it bears a live signature and live seal.

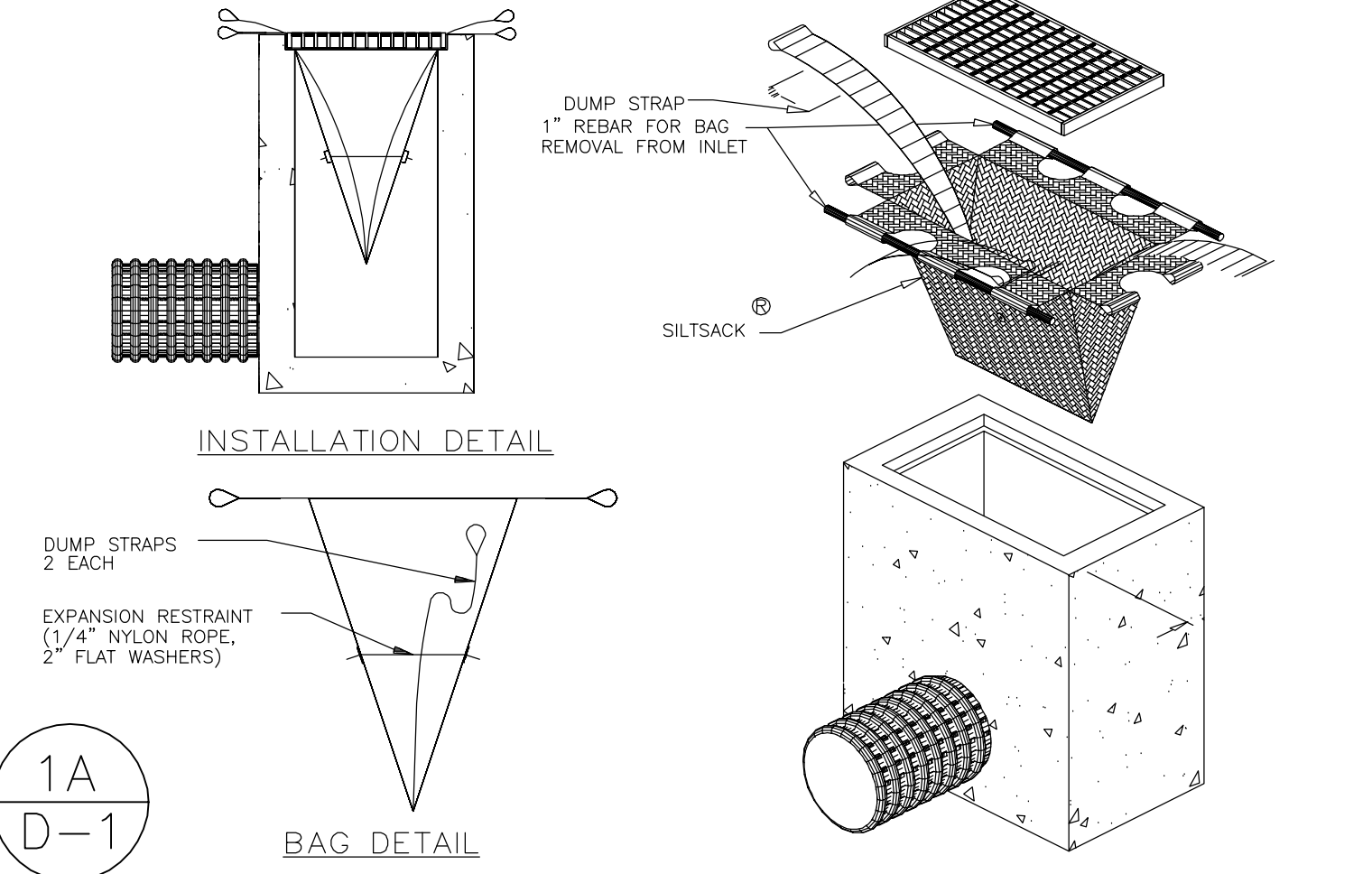
The word "certify" is understood to be an expression of professional opinion by the land surveyor that is based on his best knowledge, information, and belief. As such, it constitutes neither a guarantee nor warranty, expressed or implied.



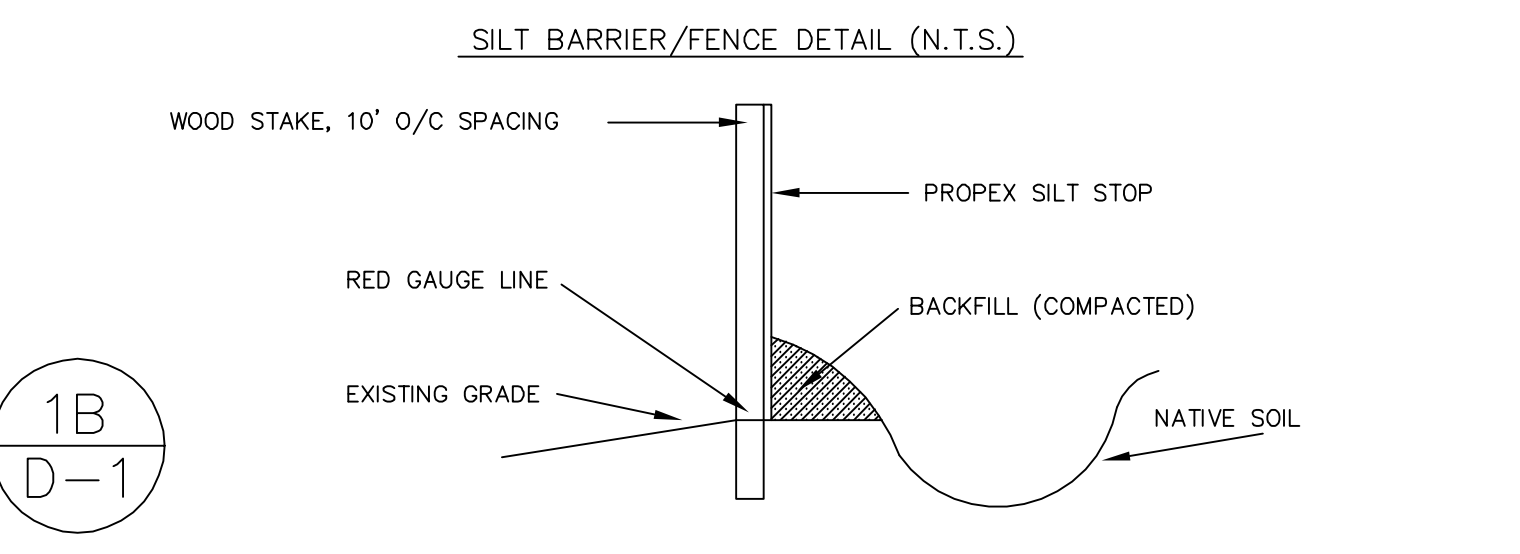
C.C.G. CT CIVIL GROUP, LLC
 Civil + Structural Engineering + Land Surveying
 Designers + Planners
 158 RESEARCH DRIVE, MILFORD, CT 06460
 (203) 874-8316 info@ctcivilgroup.com

SITE PLAN
 PREPARED FOR
 John Lombard
 28 BAYSHORE DRIVE, MILFORD, CT

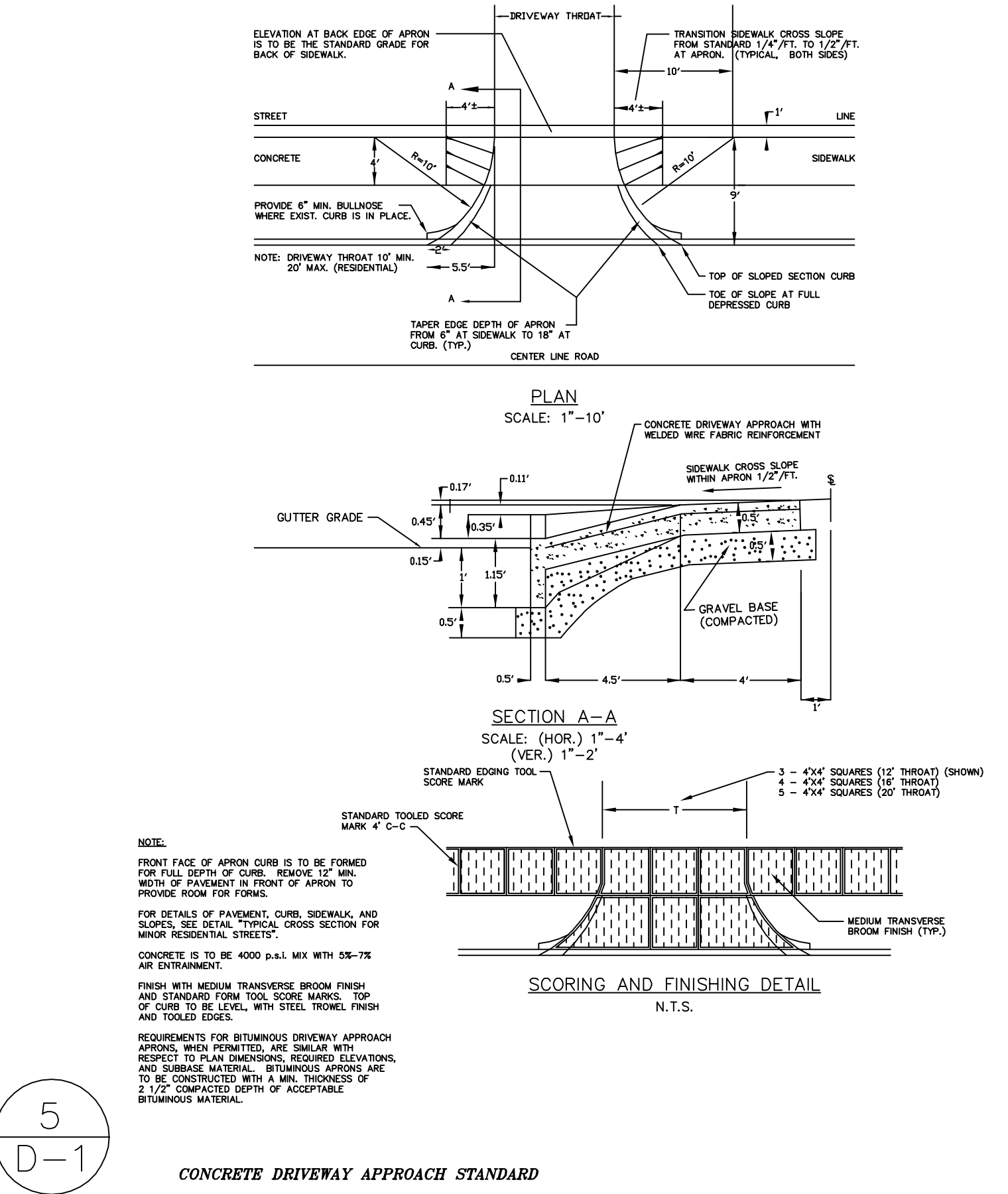
DATE: October 19, 2021 FB: 469 TFF: 1 DRAWN BY: LML CHECKED: RWW
 Scale: 20 0 1" = 20' 20 40 BOX No.: 60 PROJECT No.: 2020-013
 DWG No.: H304 SHT 1 of 2



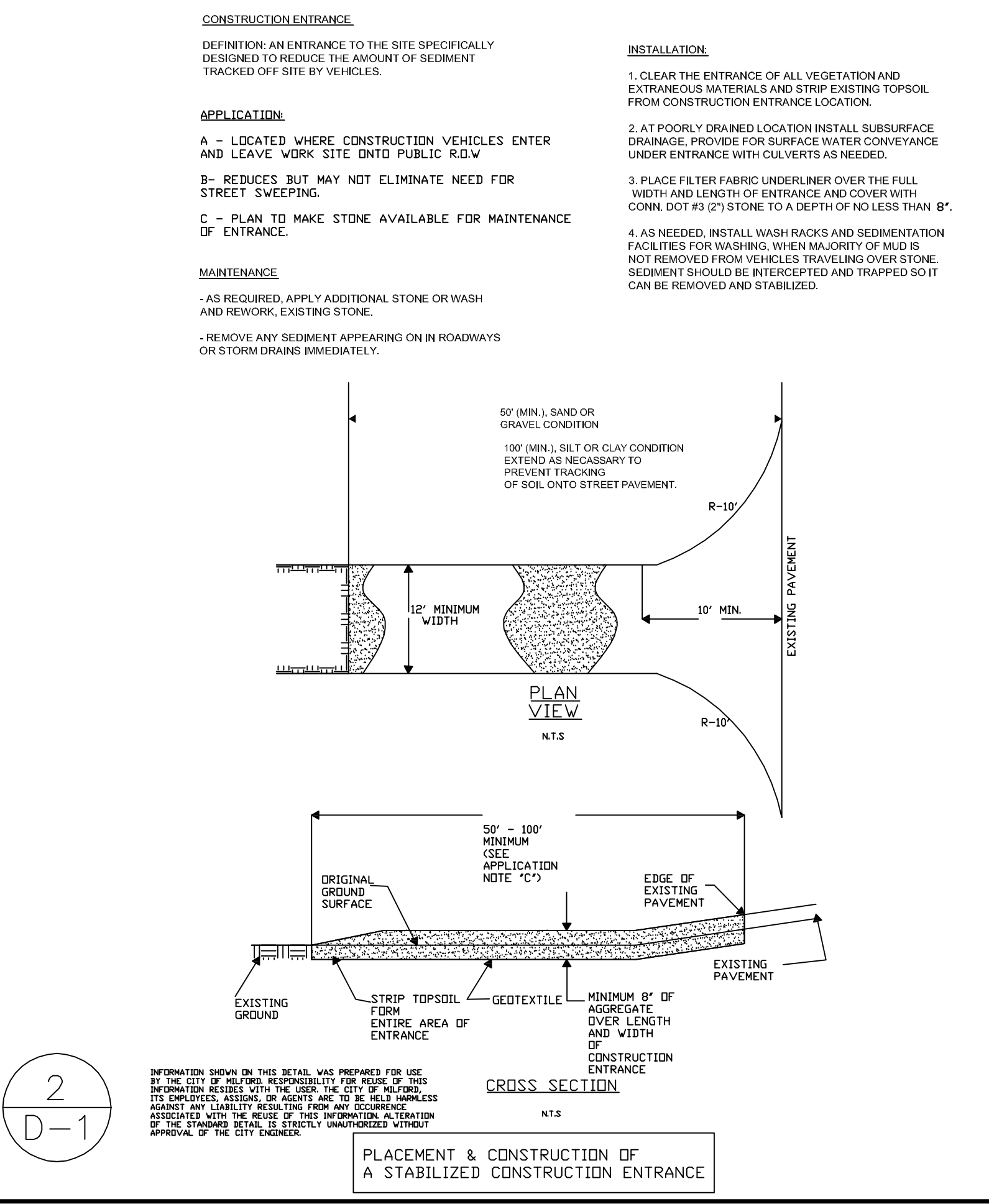
SILTSACK DETAIL
N.T.S.



SILT BARRIER/FENCE DETAIL (N.T.S.)



CONCRETE DRIVEWAY APPROACH STANDARD



CONSTRUCTION ENTRANCE

Connecticut Precast Corp.
Manufacturers of Concrete Products
555 Fan Hill Road, Monroe, CT 06488
Telephone (203) 268-8688 Fax (203) 452-1007 www.ctprecast.com

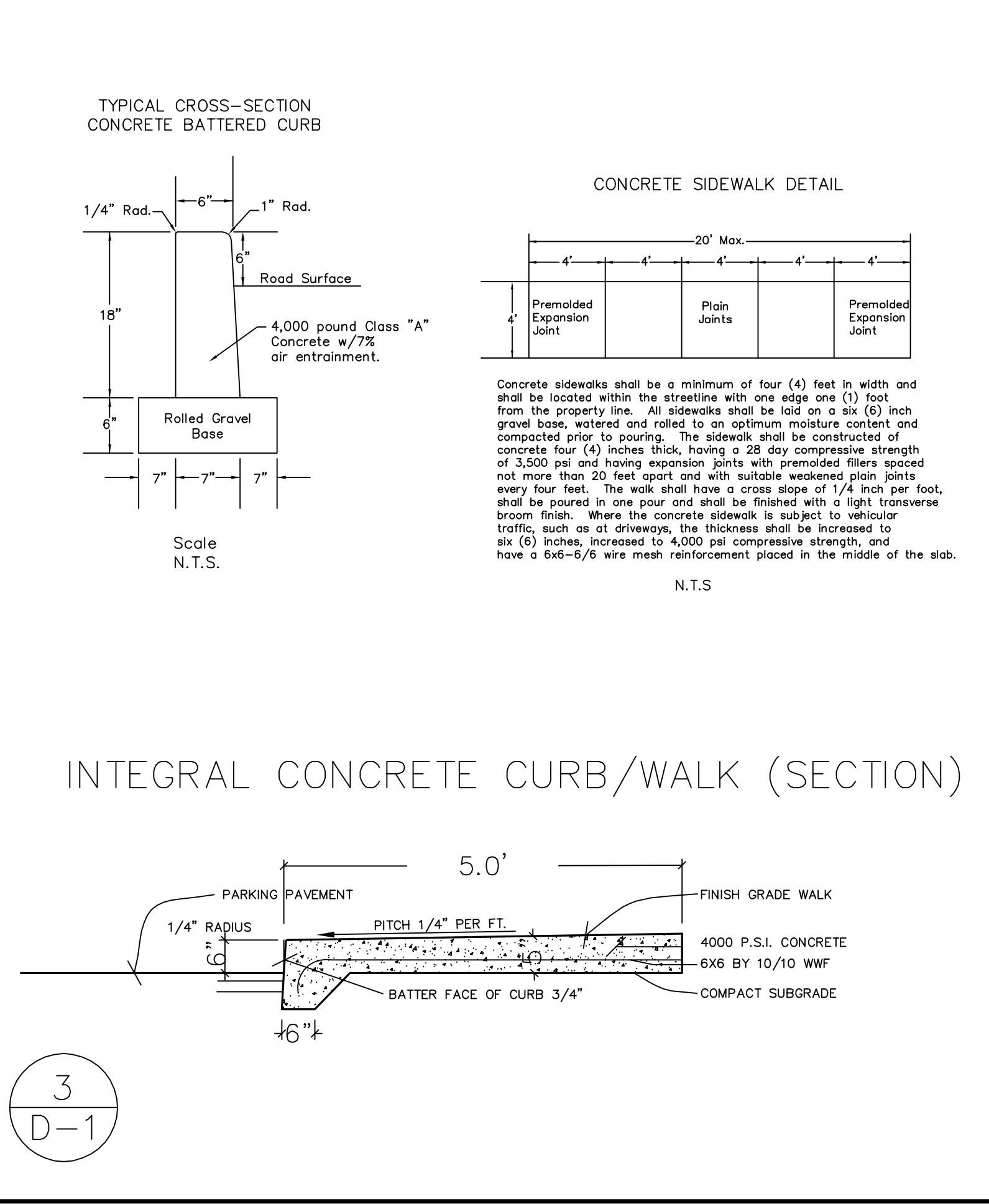
Low Profile Galleries

PRECAST CONCRETE LOW PROFILE GALLERIES
12" NOMINAL HEIGHT - HEAVY DUTY

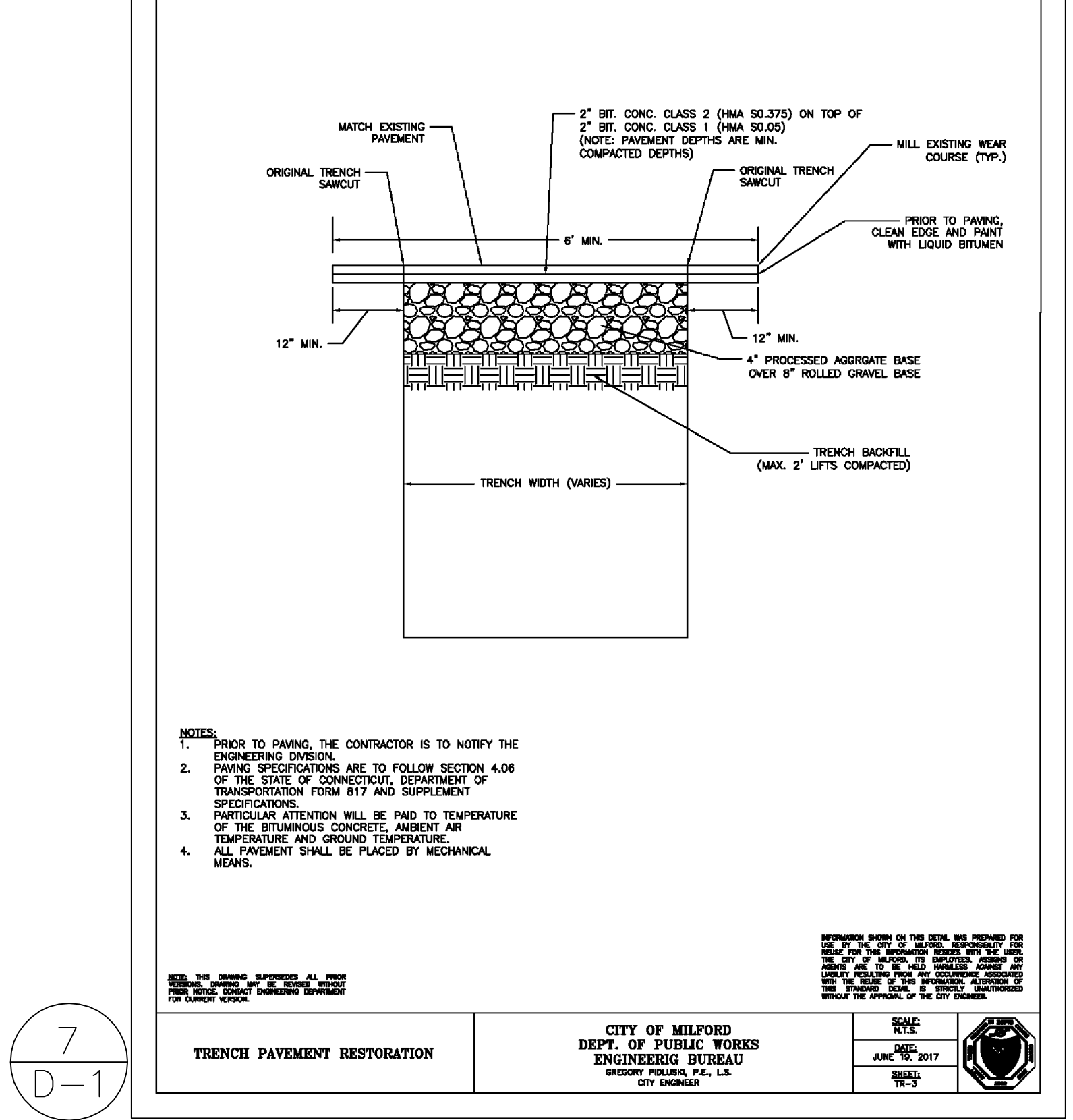
MODEL NO.	HEIGHT (IN)	INVERT (IN)	EFFECTIVE LENGTH (FT)	WEIGHT (LBS)
LP12-HD	14	8	0.9	2932

NOTES:
1. Concrete - 4,000 PSI @ 28 DAYS.
2. Meets or exceeds state and local requirements.

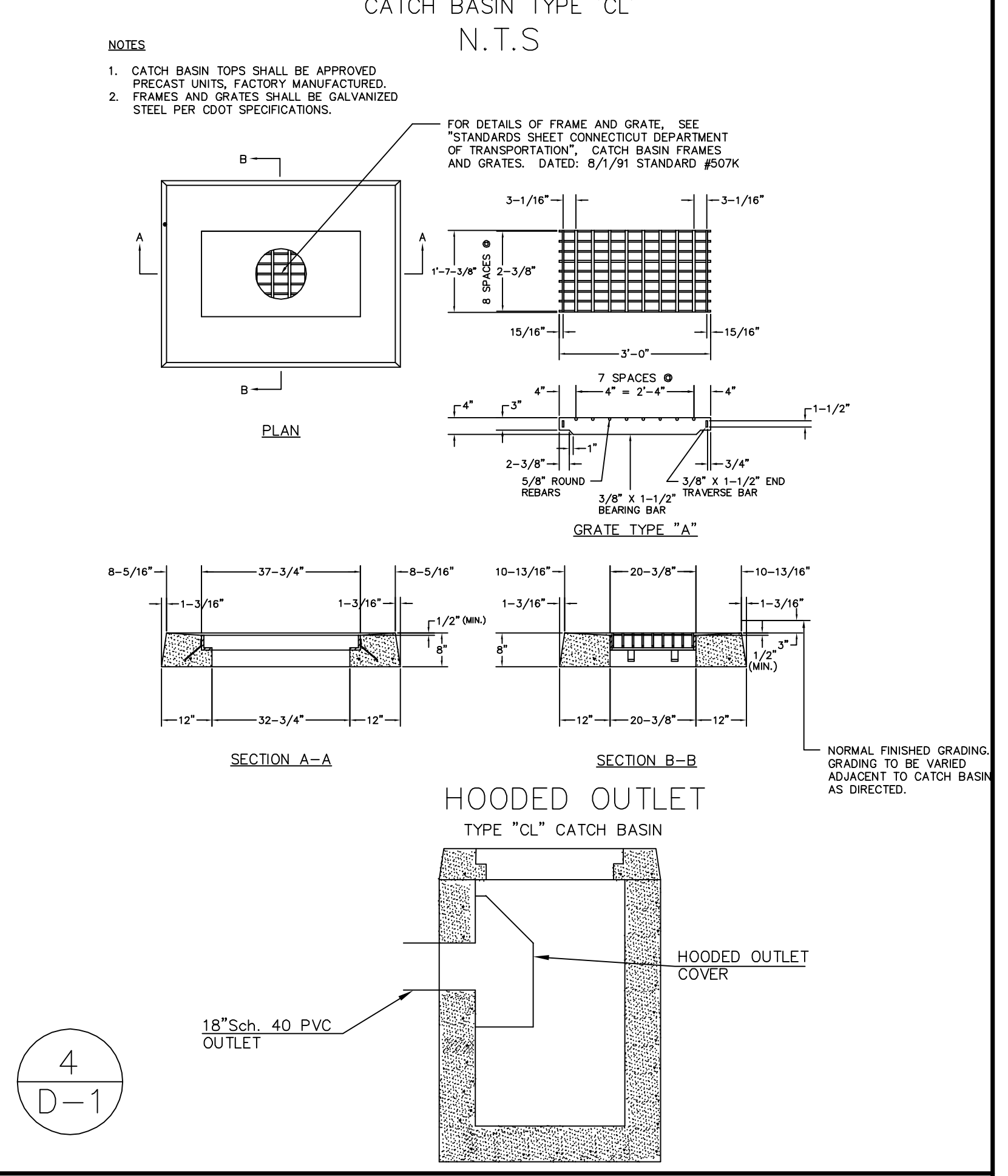
Low Profile Galleries



Integral Concrete Curb/Walk (Section)



TRENCH PAVEMENT RESTORATION



CATCH BASIN TYPE 'CL' N.T.S.

C.C.G. CT CIVIL GROUP, LLC
Civil + Structural Engineering - Land Surveying
Designers + Planners
158 RESEARCH DRIVE, MILFORD, CT 06460
(203) 874-8316 info@ctcivilgroup.com

Connecticut Precast Corp.

CITY OF MILFORD
DEPT. OF PUBLIC WORKS
ENGINEERING BUREAU
5500E MILFORD, CT 06460
CITY ENGINEER

DETAILS
PREPARED FOR
John Lombard
28 BAYSHORE DRIVE, MILFORD, CT

DATE: October 19, 2021 FB: 469 TFF: 1 DRAWN BY: RW CHECKED BY: RW
Scale: NOT TO SCALE BOX No.: 60 PROJECT No.: 2020-013
DWG No.: H304 SHT 2 of 2

THE LOMBARD RESIDENCE

28 Bayshore Drive - Milford, Connecticut



GENERAL NOTES:

1. PATCH AND REPAIR ANY AND ALL EXTERIOR SIDING AS NEEDED, OR REQUIRED.
2. FINISHES THROUGHOUT ARE TO BE SELECTED BY OWNER.
3. ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 24" OF ANY DOOR ARE TO HAVE TEMPERED GLAZING.
4. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE MASSACHUSETTS BUILDING CODE AND LOCAL REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
6. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS...DO NOT SCALE THE DRAWINGS.
7. DESIGN LOADS:

ROOF 35 PSF (LIVE LOAD)
FLOOR 40 PSF
STAIRS 100 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL STRUCTURAL ENGINEER TO DETERMINE THE APPROPRIATE REVISIONS.)

8. INSULATION

ROOF R-38
WALLS/EXTERIOR R-20
FLOOR (UNHEATED SPACE) R-30

9. THE ABOVE VALUES ARE THE MINIMUM AND MAY BE INCREASED IF DESIRED. VERIFY WITH OWNER.
10. ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
11. PROVIDE INSULATION Baffles AT EAVE VENTS BETWEEN RAFTERS.
12. THE CONTRACTOR SHALL CARRY SUFFICIENT INSURANCE TO THE SATISFACTION OF THE OWNER.
13. ALL PAINT, STAIN AND SHINGLE COLORS SHALL BE SELECTED BY THE OWNER.
14. ALL WINDOWS AND DOORS TO BE APPROVED BY THE OWNER. CONTRACTOR TO CONFIRM WITH OWNER BEFORE FRAMING OPENINGS FOR SIZE AND LOCATIONS.
15. ALL FLOOR COVER WILL BE CHOSEN BY THE OWNER. GENERAL CONTRACTOR TO SUPPLY PROPER SUBFLOOR AS REQUIRED.
16. PRIOR TO STARTING CONSTRUCTION THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR ANY FABRICATION OF ANY ITEM SHALL BEGIN UNTIL CONTRACTOR HAS RECEIVED ALL PLAN APPROVALS AND ANY OTHER DOCUMENTATION FROM ALL REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION MANDATED BY ANY REGULATORY AUTHORITY.
17. GENERAL CONTRACTOR SHALL WARRANTY ALL WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
18. GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL PACKING AND OTHER RELATED TRASH INSIDE THE HOUSE AND AROUND THE SITE.

JIM DENNO DESIGN

93 Sunnyside Ct. Milford, Connecticut 06460
(203) 882-8755

DRAWING INDEX

LIST OF ABBREVIATIONS (Architectural Drawings Only)

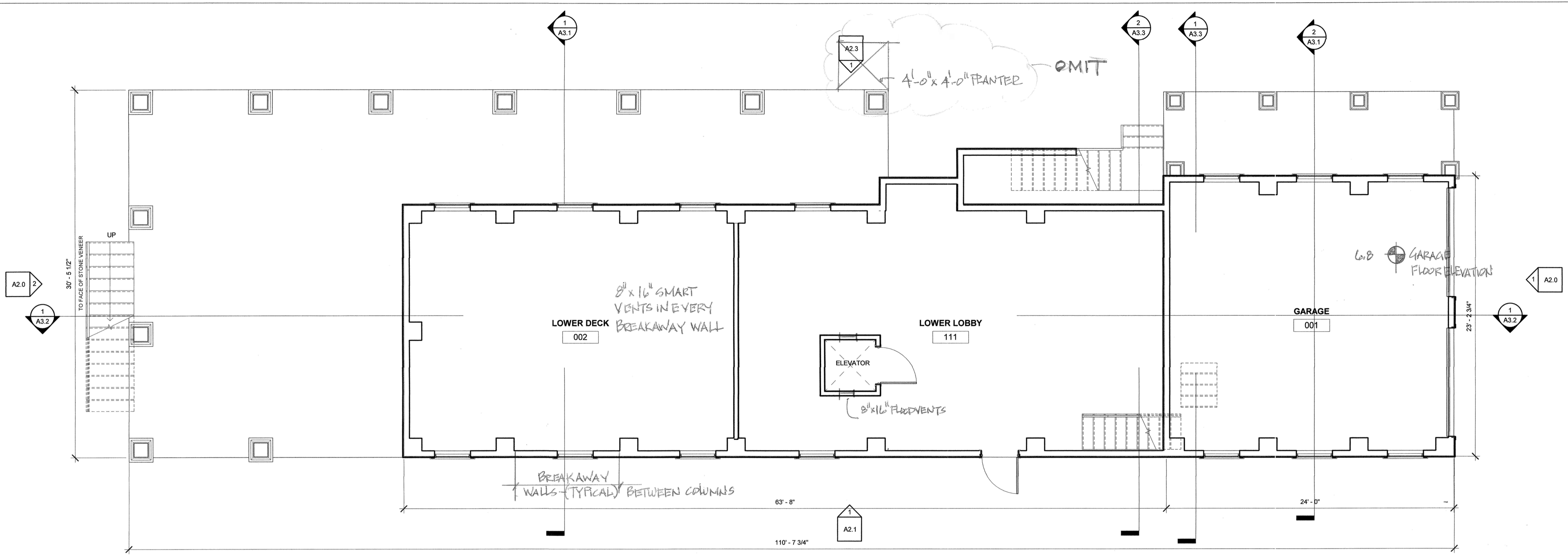
ACT	Actual	DET.	Detail	IN	Inch	OC	On Center	T.O.W.	Top of Wall
A.C.T.	Acoustic Tile	DIA.	Diameter	INCL	Include	OD	Outside Diameter	THK	Thick
ADH	Adhesive	DIAG.	Diagonal	INSUL	Insulation	OVHD	Overhead	TR	Tread
A.F.F.	Above Finish Floor	DK	Deck	INT	Interior	OPNG	Opening	T&G	Tongue & Groove
AGGR	Aggregate	DBL	Double	ID	Inside Diameter	OPP	Opposite	THRU	Through
AL/ALUM.	Aluminum	DN	Down			O.A.	Over-all	TYP.	Typical
ALLOW.	Allowance	DS	Downspout	JCT	Junction			ULT	Ultimate
ALT	Alternate	DWG	Drawing	JT/JNT	Joint	PART.	Partition	VCT	Vinyl Composite Tile
APPD	Approved			JSTS	Joists	P.M.	Pressed Metal	VENT.	Ventilate
ASPH.	Asphalt	EA.	Each			P.C.	Precast (conc)	VERT	Vertical
		ELEC	Electric	KDN	Knock Down	P.T.	Pressure Treated	VOL	Volume
BG	Below Grade	EL.	Elevation	KIT	Kitchen	PERF	Perforate	WC	Watercloset
BM	Beam	ELEV	Elevator			PLT	Plate	WD	Wood
BD.FT.	Board Feet	ENC/ENCL	Enclosure	LAM	Laminate			WWF	Welded Wire Fabric
BRKT	Bracket	EQ	Equal	LAV	Laboratory	QTR.	Quarter	WH	Water Heater
BRK./BR.	Building	EQUIP	Equipment	LBL	Label	QTR. BO.	Quarter Board	WT	Weight
B.O.	Block	EST	Estimate	L&P	Lath & Plaster	R	Radius	W.T.	Watertight
BRS	Brick	EXT	Exterior	LDG	Landing	RCP	Reinforced Concrete Pipe	WI	Wrought Iron
BRZ	Bronze	EXP	Expansion	LB/LBS	Pounds	RD.	Round	YD	Yard
				LGMF	Light Gauge Metal Framing	REF.	Reference	YP	Yield Point
CAB	Cabinet	FAB	Fabricate	LIN.	Linear	REQD	Required		
CB	Catch Basin	FIN.	Finish	LOC	Location	REINF	Reinforced		
CEIL	Ceiling	FDTN	Foundation	LTG	Lighting	RM	Room		
CLKG	Caulking	FPRF	Fireproof	LVD	Lowered	R.O.	Rough Opening		
C.L.	Centerline	F.O.S.	Face of Stud	LP	Low Point	SHT.	Sheet		
CEM	Cement	F.E.	Fire Extinguisher			SCH	Schedule		
CLR	Clear	FLR	Floor	MN	Main	SECT	Section		
CEMM.	Cement Mortar	FLUOR	Fluorescent	MAS	Masonry	SQ.	Square		
CER	Ceramic	FLASH	Flashing	MATL	Material	SK	Sketch		
C.I.	Cast Iron	FT.	Feet	MAX	Maximum	SPEC	Specification		
C.M.U.	Concrete Masonry Unit	FTNG.	Footing	MIN	Minimum	STD	Standard		
COL	Column	FV	Field Verify	MECH	Mechanical	SS	Stainless Steel		
CONC	Concrete			MED	Medium	STL	Steel		
C.J.	Control Joint	GA	Gauge	MEZZ	Mezzanine	STRUC.	Structural		
COP.	Coping	GALV	Galvanized	MFG	Manufactured	ST	Street/Stone		
CORB	Corbelled	GL	Glass Glazing	MH	Manhole	SUPV	Supervise		
CORR	Corrogated	GR	Grade	MEMB	Membrane	SUPT	Superintendent		
CS	Cast Stone	G.W.B.	Gypsum Wall Board	M.O.	Masonry Opening	S.T.C.	Sound Transmission Coefficient		
CT	Ceramic Tile			MISC	Miscellaneous	SYS	System		
C TO C	Center to Center	HDW	Hardware	MOD	Modification				
CTR	Center	HD	Head	MDL	Model				
CU	Cubic	HM	Hollow Metal						
CSK	Countersink	HOR	Horizontal	NAT	Natural	TAN	Tangent		
CRS	Courses	HGT	Height	NEC	National Electric Code	TEL	Telephone		
		HR	Hour	N.I.C	Not in Contract	TC	Terra Cotta		
		HP	Highpoint	NOM	Nominal	TER	Terrazzo		
		HWY	Highway	NO.	Number	TOPO	Topography		
		HYD	Hydraulic	NTS	Not to Scale	T.O.C.	Top of Concrete		
						T.O.S.	Top of Steel		

LIST OF SYMBOLS (Architectural Drawings Only)

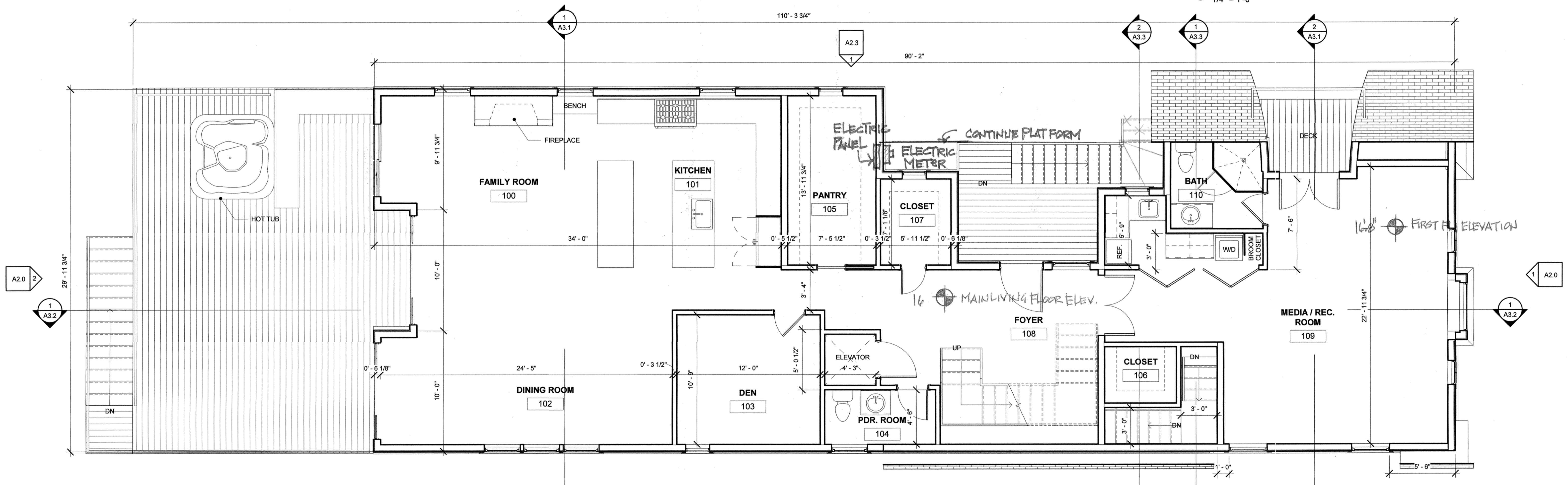
		Room name	ROOM TAG
		101	
			CALLOUT HEAD
			CENTER LINE
		101	DOOR TAG
			ELEVATION MARK
			GRID HEAD
			LEVEL HEAD
			NORTH ARROW
			EXIT SIGN
			SECTION HEAD
			SECTION TAIL
			SPOT ELEVATION
			VIEW REFERENCE

GENERAL NOTES

1. CONTRACTOR SHALL ASSUME RESPONSIBILITY OF REVIEWING AND UNDERSTANDING ALL INFORMATION INCLUDED WITHIN THE CONSTRUCTION DOCUMENTS. THE CONSTRUCTION DOCUMENTS ARE AN AID TO THE CONTRACTOR IN UNDERSTANDING THE WORK AND SHOULD NOT BE CONSTRUCTED AS BEING COMPLETE IN EVERY DETAIL. IT IS THE EXPLICIT AND SPECIFIC RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE, VERIFY EXISTING CONDITIONS, FAMILIARIZE HIMSELF THOROUGHLY WITH THE SCOPE OF WORK AND REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE ASSUMED OR ACTUAL CONDITIONS TO THE ATTENTION OF THE DESIGNER.
2. MODIFICATIONS OF DESIGN OR DETAILS INCLUDED WITHIN THESE DOCUMENTS SHALL NOT BE PERMITTED WITHOUT CONSENT OF BOTH OWNER AND DESIGNER.
3. PLAN DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
DO NOT SCALE DRAWINGS IN FIELD.
4. ALL REFERENCES TO DIMENSIONS OF FLOOR LINE ARE TAKEN FROM TOP OF CONCRETE OR UNDERLAYMENT.
5. CONTRACTOR'S SUPERVISOR SHALL BE PRESENT ON JOB AT ALL TIMES WHILE CONSTRUCTION WORK IS IN PROGRESS. NO WORK SHALL COMMENCE WITHOUT THEIR SUPERVISION.
6. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND AND OVERHEAD UTILITY SERVICE ON SITE PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION WORK.
7. CONTRACTOR SHALL MAINTAIN ALL REQUIRED LOCAL FIRE DEPARTMENT VEHICLE AND EQUIPMENT ACCESS AND CLEARANCES.
8. CONTRACTOR SHALL PROVIDE AND MAINTAIN SECURITY OF BUILDING, CONSTRUCTION MATERIALS, FIXTURES, AND APPLIANCES DURING AND AFTER WORK HOURS.
9. CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY CONSTRUCTION SITE, PROVIDING CLEAR ACCESS TO EXITS AND EGRESS PATHS FROM OWNER OCCUPIED AREAS DURING ALL PHASES OF CONSTRUCTION.
10. CONTRACTOR SHALL CONSULT WITH OWNER AND DESIGNER REGARDING FINAL LOCATIONS OF ALL LIGHT FIXTURES, SWITCHES, RECEPTACLES, AND OTHER MECHANICAL OR ELECTRICAL ITEMS PRIOR TO INSTALLATION.
11. ALL PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION AND INSTALLATIONS SHALL BE PERFORMED BY CERTIFIED CONTRACTORS TO THE TRADE, AND SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
12. ALL "AS-BUILT" WORK SHALL BE ELIGIBLE FOR AND CONSISTENT WITH ALL LOCALLY REQUIRED OCCUPANCY, USE, AND ZONING PERMITS.



1 GROUND FLOOR PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"

PROJECT TITLE

GROUND & FIRST FLOOR PLAN

DRAWING TITLE

DATE: 8/6/2021
DRAWN BY: Author

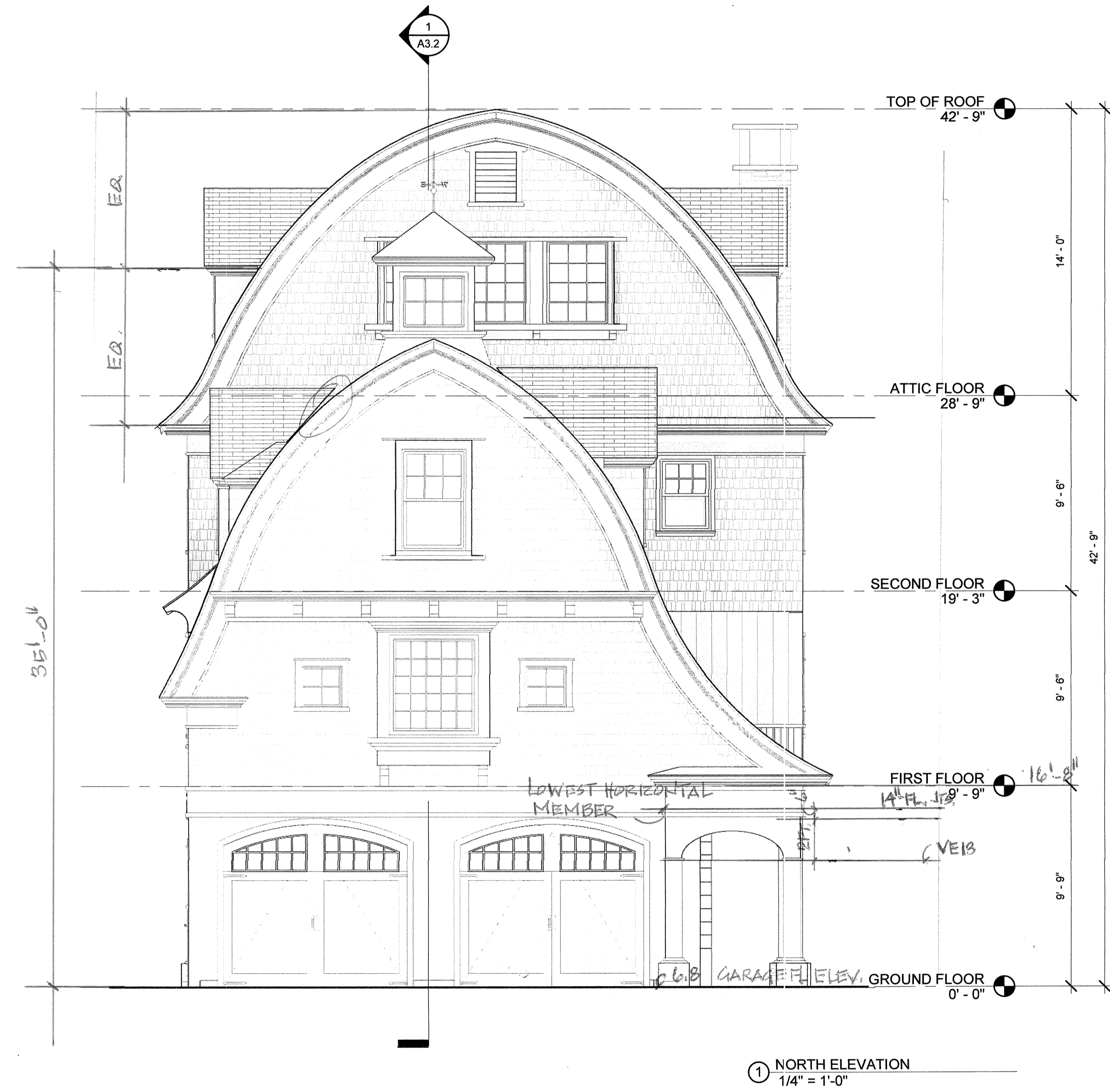
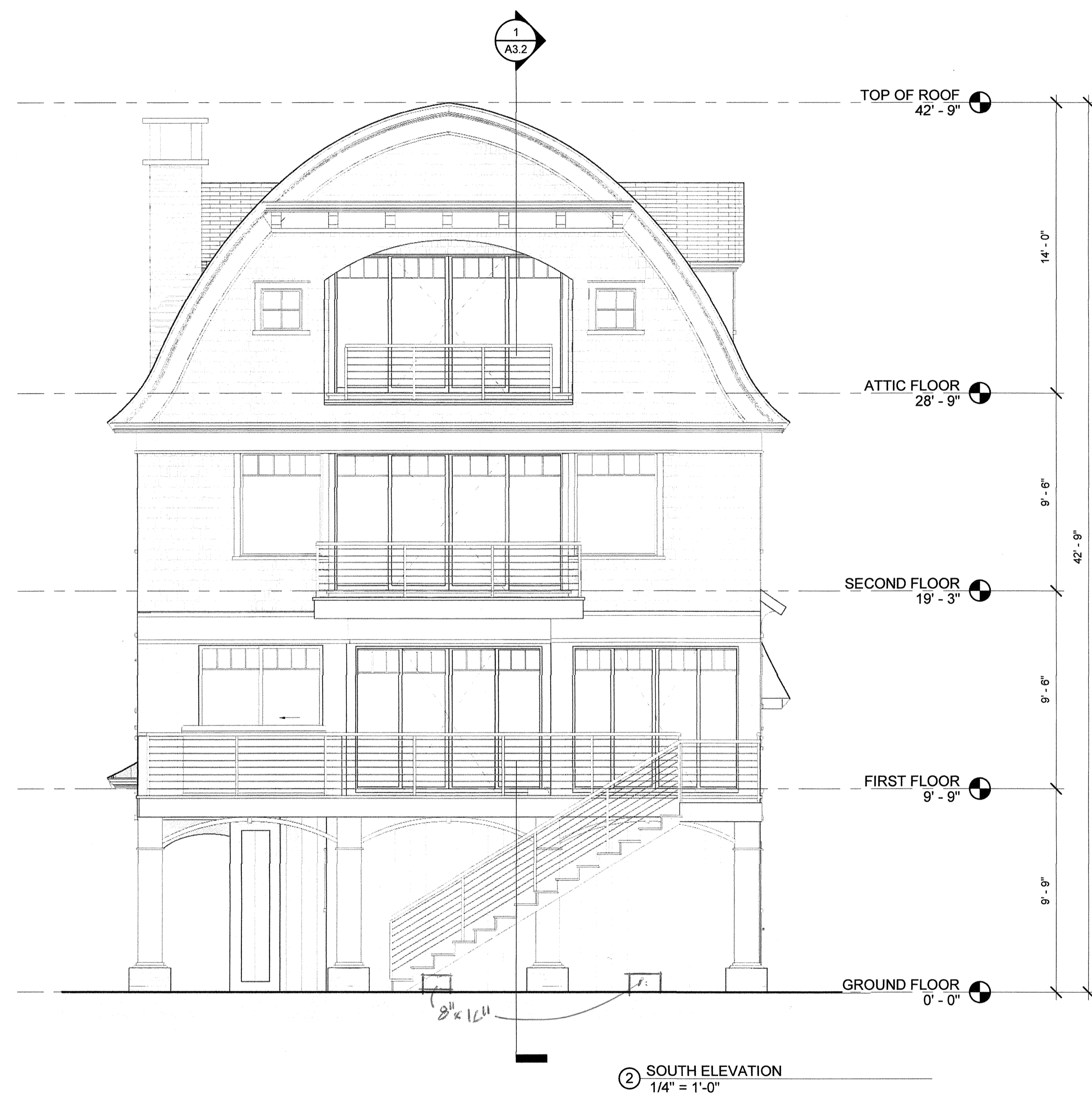
REVISIONS:

DRAWING NO:
A1.0



1 SECOND FLOOR PLAN
1/4" = 1'-0"

2 ATTIC FLOOR PLAN
1/4" = 1'-0"



A NEW HOME FOR
THE LOMBARD RESIDENCE
 28 Bayshore Drive
 Milford, Connecticut

PROJECT TITLE:

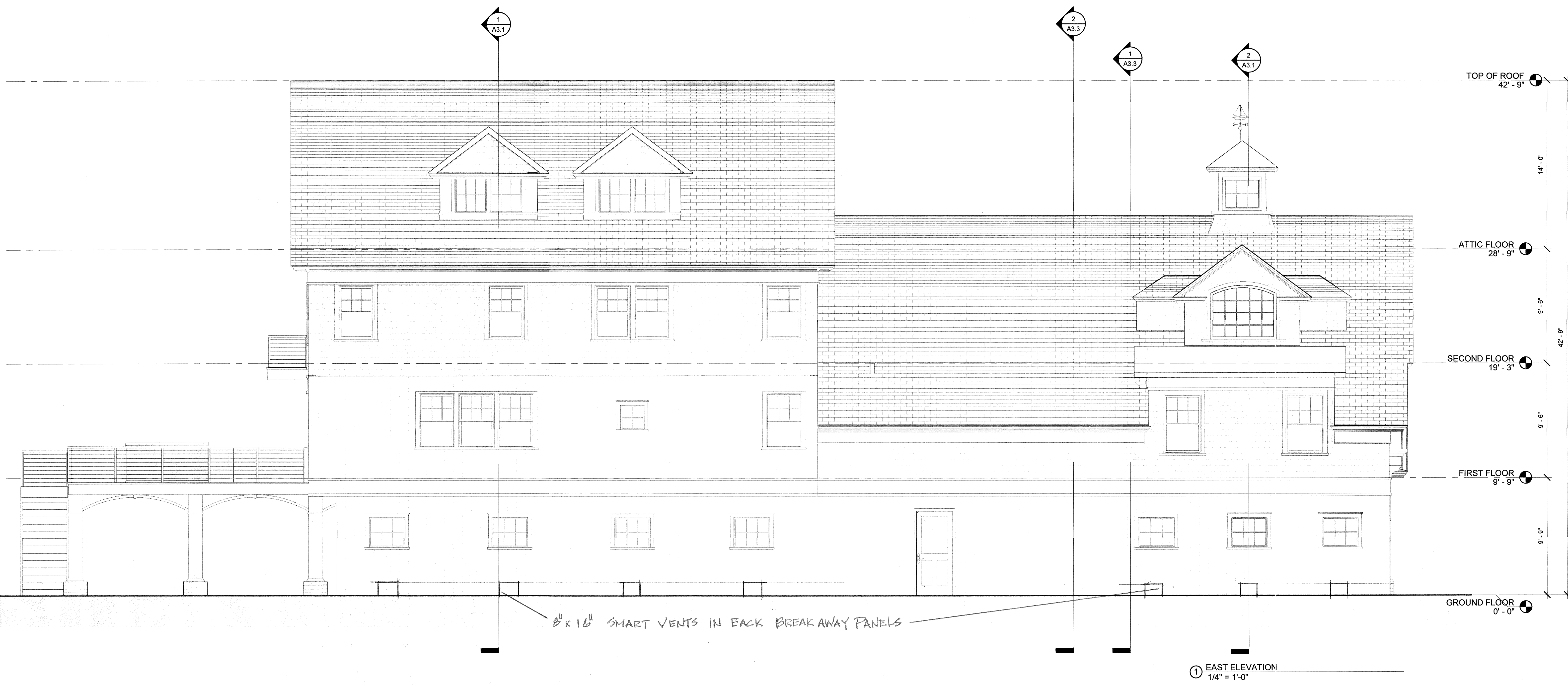
ELEVATIONS

DRAWING TITLE:

DATE: 8/6/2021
 DRAWN BY: Author

REVISIONS:

DRAWING NO:
A2.1





① WEST ELEVATION
1/4" = 1'-0"