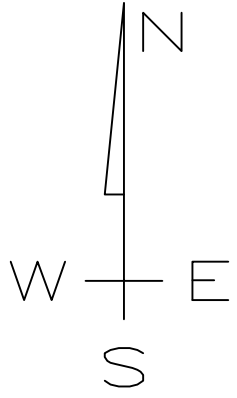
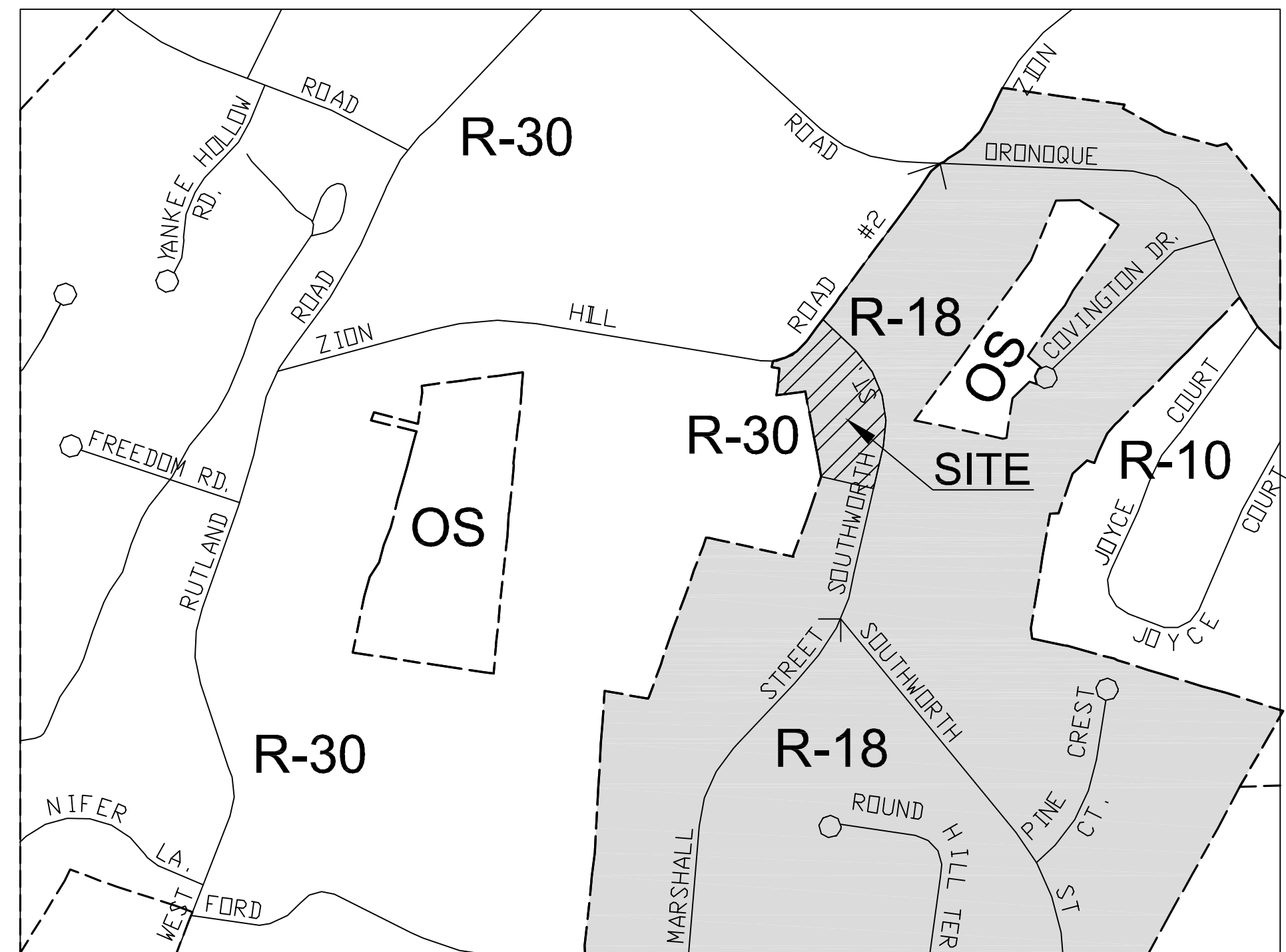


# RE-SUBDIVISION 238 ZION HILL RD Milford, Connecticut

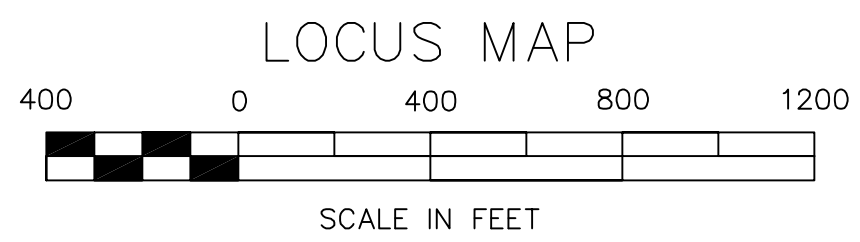
MAP 74      BLOCK 934      PARCEL 17  
ZONE R-18

Received by Planning Office  
**Milford DPLU**  
3/2/2022



Owner/Applicant  
GAMS LLC c/o Angelo Lisi  
49 Lauri Drive, Milford, CT  
203-650-5669  
email: homebuildersmilford@aol.com

Engineer  
Ronald W. Wassmer, PEL 16975  
CT Civil Group, LLC  
158 Research Dr. Milford, CT  
203-874-8316  
info@ctcivilgroup.com

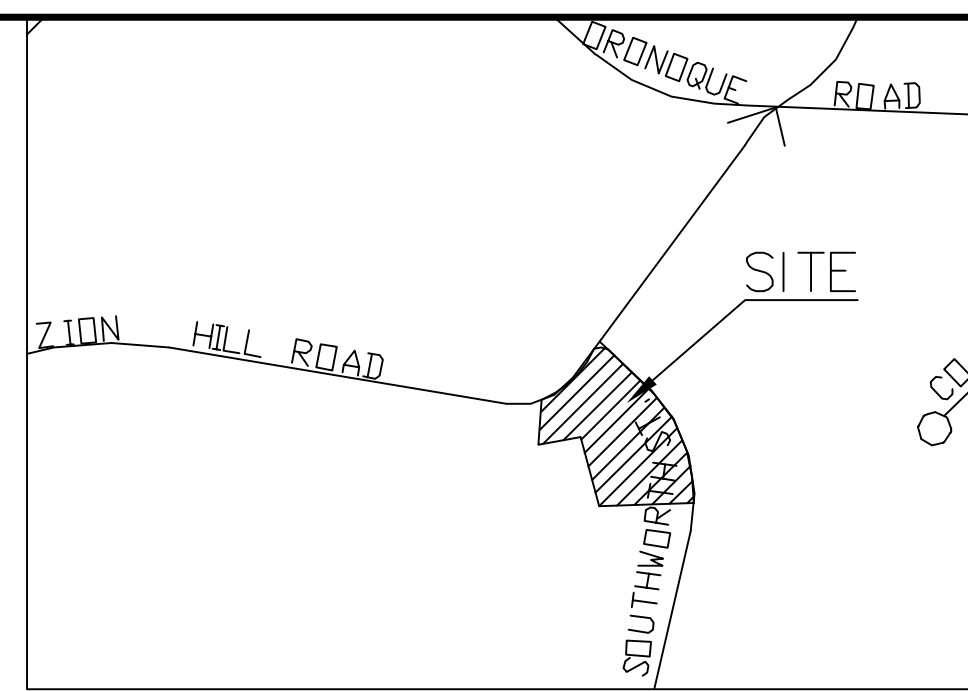


SUBMITTED FOR:	
DATE	
12-09-2021	Client Review
12-16-2021	City Planner Review
02-28-2022	Department Distribution

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	2022-02-28	Revised per City Planner's comments of 2/8/2022	LML

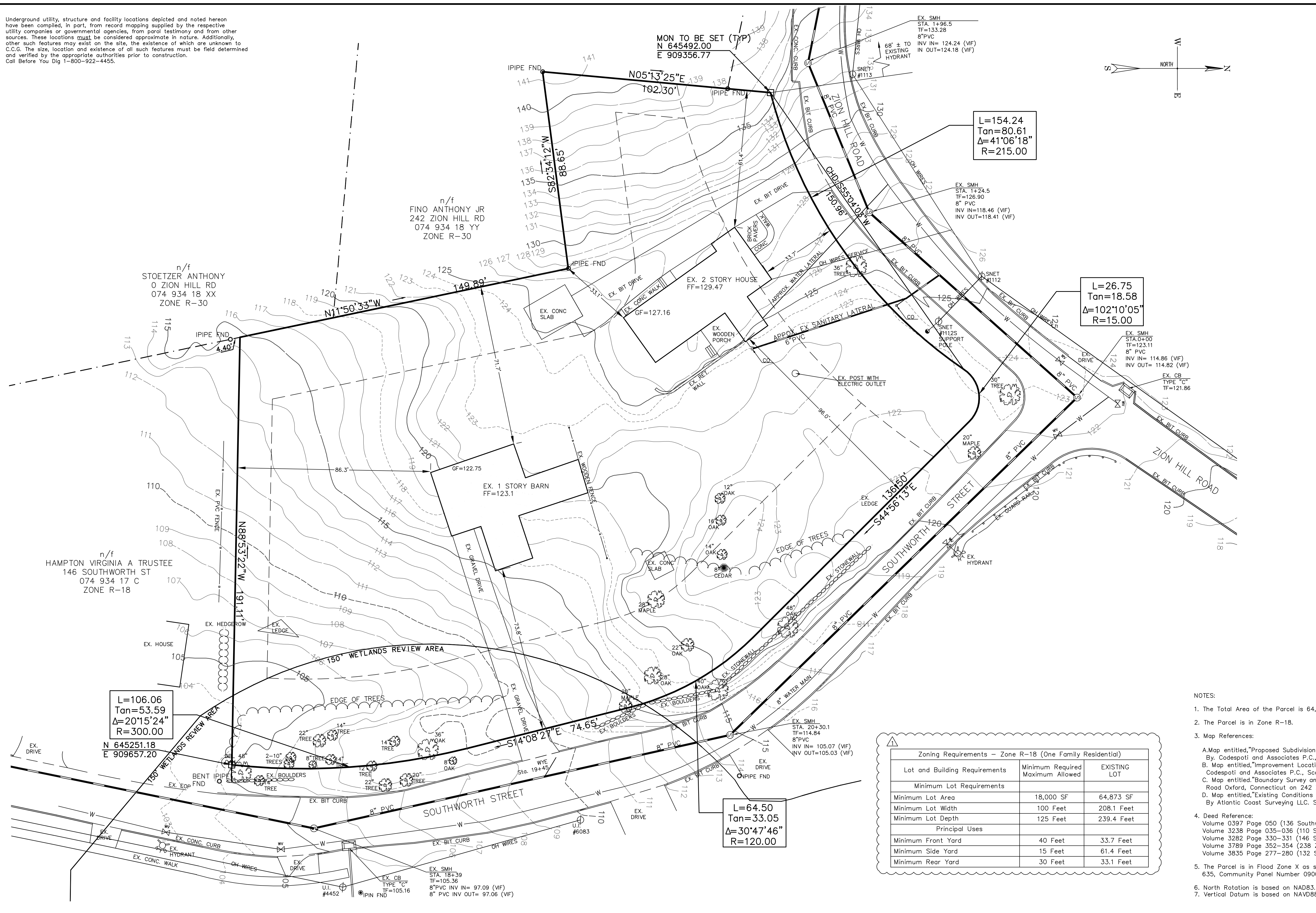
SHEET NAME	SHEET	INDEX DESCRIPTION	DATE	REVISION DATE
T-1	1	TITLE SHEET	12-09-2021	02-28-2022
EX-1	2	EXISTING CONDITIONS SURVEY	12-09-2021	02-28-2022
Sub-1	3	RE-SUBDIVISION PLAN	12-09-2021	02-28-2022
Z-1	4	ZONING COMPLIANCE PLAN	12-09-2021	02-28-2022
GDU-1	5	GRADING & DRAINAGE & UTILITY PLAN	12-09-2021	02-28-2022
EC-1	6	SEDIMENTATION AND EROSION CONTROL PLAN	12-09-2021	02-28-2022
RD-1	7	ROAD IMPROVEMENT PLAN	12-09-2021	02-28-2022
LS-1	8	LANDSCAPING PLAN	12-09-2021	02-28-2022
D-1	9	DETAILS SHEET	12-09-2021	02-28-2022

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LOCUS MAP SCALE 1"=400'  
MAP 074 BLOCK 934 PARCEL 017

- LEGEND**
- LD LEADER DRAIN
  - ☆ LIGHT POLE
  - ☐ CATCH BASIN, TYPE "CL"
  - ☐ CATCH BASIN, TYPE "C"
  - ⊙ STORM SEWER MANHOLE
  - ⊙ SANITARY SEWER MANHOLE
  - DW DRY WELL
  - G GAS
  - ⊕ GAS VALVE
  - W WATER
  - ⊕ WATER VALVE
  - ⊕ WATER SHUTOFF
  - ⊕ PROPOSED HYDRANT
  - ⊕ EXISTING HYDRANT
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  - EXISTING CONTOUR (typ.)
  - TREE
  - SHRUB
  - MON
  - IRON PIPE
  - IRON PIN
  - ⊕ DRILL HOLE
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  - PERC TEST
  - DEEP TEST PIT
  - WELL
  - WETLAND FLAG
  - 14X9 EXISTING SPOT GRADE
  - 14.9 PROPOSED SPOT GRADE
  - VIF VERIFY IN FIELD



- NOTES:**
- The Total Area of the Parcel is 64,873 Sq Ft 1.49 Acres.
  - The Parcel is in Zone R-18.
  - Map References:
    - A. Map entitled, "Proposed Subdivision Milford Chase Section 3 Prepared for T and M Building Company, LLC. By: Codespoti and Associates P.C., Scale 1"=60'," dated 6/3/1997. On File in MLR Map #AB-2459.
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  - North Rotation is based on NAD83.
  - Vertical Datum is based on NAVD88.

**Zoning Requirements - Zone R-18 (One Family Residential)**

Lot and Building Requirements	Minimum Required	Maximum Allowed	EXISTING LOT
Minimum Lot Requirements			
Minimum Lot Area	18,000 SF	64,873 SF	
Minimum Lot Width	100 Feet	208.1 Feet	
Minimum Lot Depth	125 Feet	239.4 Feet	
Principal Uses			
Minimum Front Yard	40 Feet	33.7 Feet	
Minimum Side Yard	15 Feet	61.4 Feet	
Minimum Rear Yard	30 Feet	33.1 Feet	

**C.C.G. CT CIVIL GROUP, LLC**  
 Civil + Structural Engineering - Land Surveying  
 Designers + Planners  
 158 RESEARCH DRIVE, MILFORD, CT 06460  
 (203) 874-8316 info@ctcivilgroup.com

**REVISIONS**

NO.	DESCRIPTION	DATE
1	Revised per City Planner's comments; added Zone table	02/28/2022

**NOTES:**

This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Survey and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.

It is a Property Survey based upon a Dependent Resurvey and is intended to depict the locations of all boundary monumentation found or set, relationship of improvements and features to the boundary, record easements, means of ingress and egress, lines of occupation, deed restrictions, conflicts, and encroachments.

This survey conforms to Horizontal Accuracy Class A-2.

To my knowledge and belief, this map is substantially correct as noted hereon.

Date: Feb. 28, 2022 By: *[Signature]*  
 Ronald W. Wassmer, PE LS CT Lic. No. 16975

This survey is not valid unless it bears a live signature and live seal.

The word "certify" is understood to be an expression of professional opinion by the land surveyor that is based on his best knowledge, information, and belief. As such, it constitutes neither a guarantee nor warranty, expressed or implied.



**EXISTING CONDITIONS SURVEY**  
 PREPARED FOR  
 GAMS, LLC  
 238 Zion Hill Rd., Milford, Connecticut

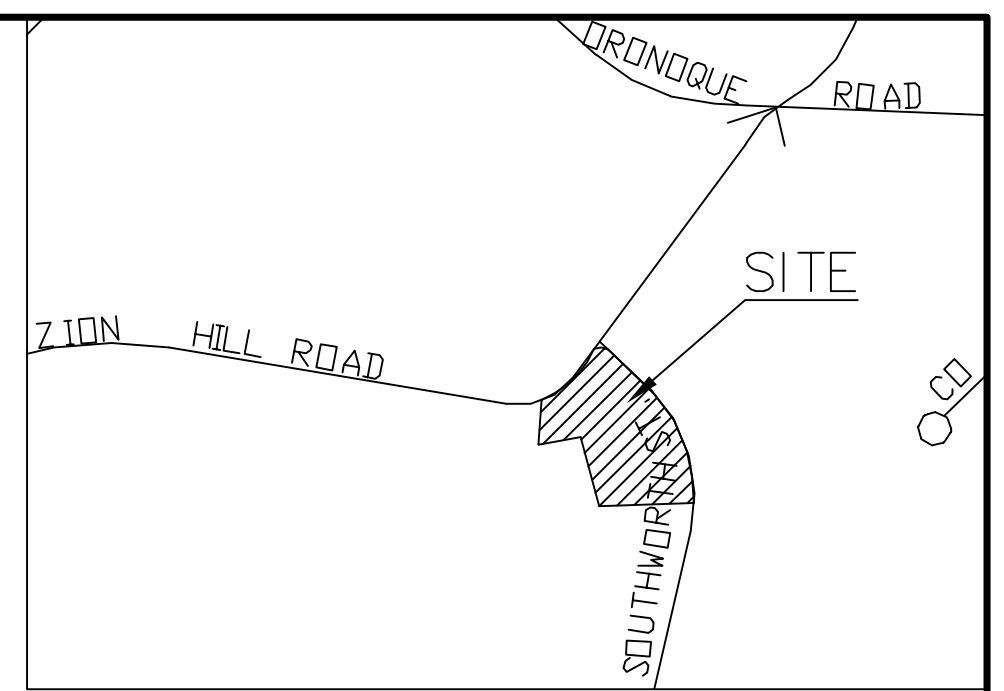
DATE: Dec. 09, 2021 FB: 469 TFF: 21 DRAWN BY: JD CHECKED: RWW

Scale: 1" = 20'

BOX No.: 192 PROJECT No.: 2019-027

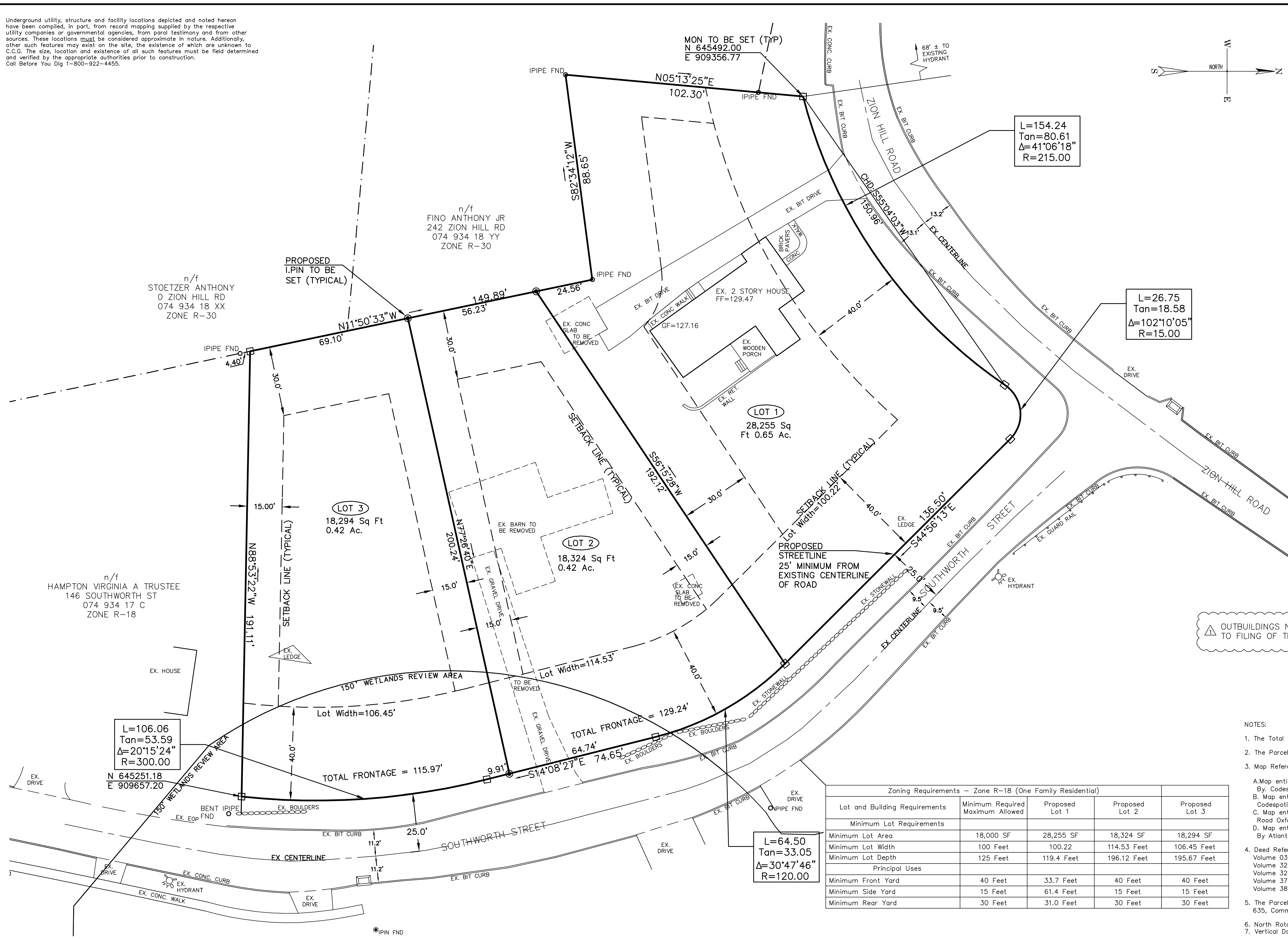
DWG No.: 2498 SHT 2 of 9

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LOCUS MAP SCALE 1"=400'  
MAP 074 BLOCK 934 PARCEL 017

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  - 14X9 EXISTING SPOT GRADE
  - 14.9 PROPOSED SPOT GRADE
  - VF VERIFY IN FIELD



△ OUTBUILDINGS NEED TO BE REMOVED PRIOR TO FILING OF THE SUBDIVISION MYLAR

**NOTES:**

- The Total Area of the Parcel is 64,64,873 sq. ft.; 1.49 Acres.
- The Parcel is in Zone R-18.
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**Zoning Requirements - Zone R-18 (One Family Residential)**

Lot and Building Requirements	Minimum Required Maximum Allowed	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3
<b>Minimum Lot Requirements</b>				
Minimum Lot Area	18,000 SF	28,255 SF	18,324 SF	18,294 SF
Minimum Lot Width	100 Feet	100.22	114.53 Feet	106.45 Feet
Minimum Lot Depth	125 Feet	119.4 Feet	196.12 Feet	195.67 Feet
<b>Principal Uses</b>				
Minimum Front Yard	40 Feet	33.7 Feet	40 Feet	40 Feet
Minimum Side Yard	15 Feet	61.4 Feet	15 Feet	15 Feet
Minimum Rear Yard	30 Feet	31.0 Feet	30 Feet	30 Feet

L=106.06  
Tan=53.59  
Δ=20°15'24"  
R=300.00

L=64.50  
Tan=33.05  
Δ=30°47'46"  
R=120.00

L=154.24  
Tan=80.61  
Δ=41°06'18"  
R=215.00

L=26.75  
Tan=18.58  
Δ=102°10'05"  
R=15.00

**REVISIONS**

Revised per City Planner's comments of 2/8/2022; added notes LML 02/28/2022

**NOTES:**

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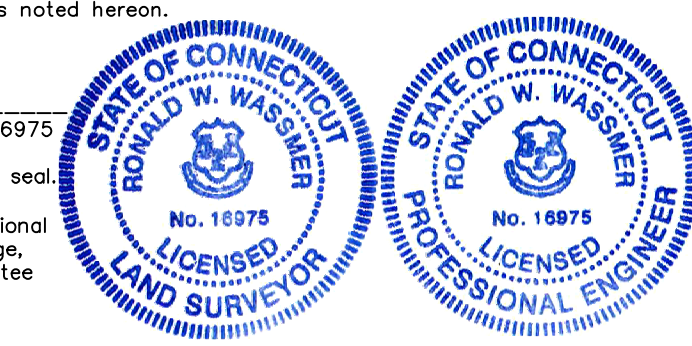
This survey conforms to Horizontal Accuracy Class A-2.

To my knowledge and belief, this map is substantially correct as noted herein.

Date Feb. 28, 2022 By *[Signature]*  
Ronald W. Wassmer, P.E. LS CT Lic. No. 16975

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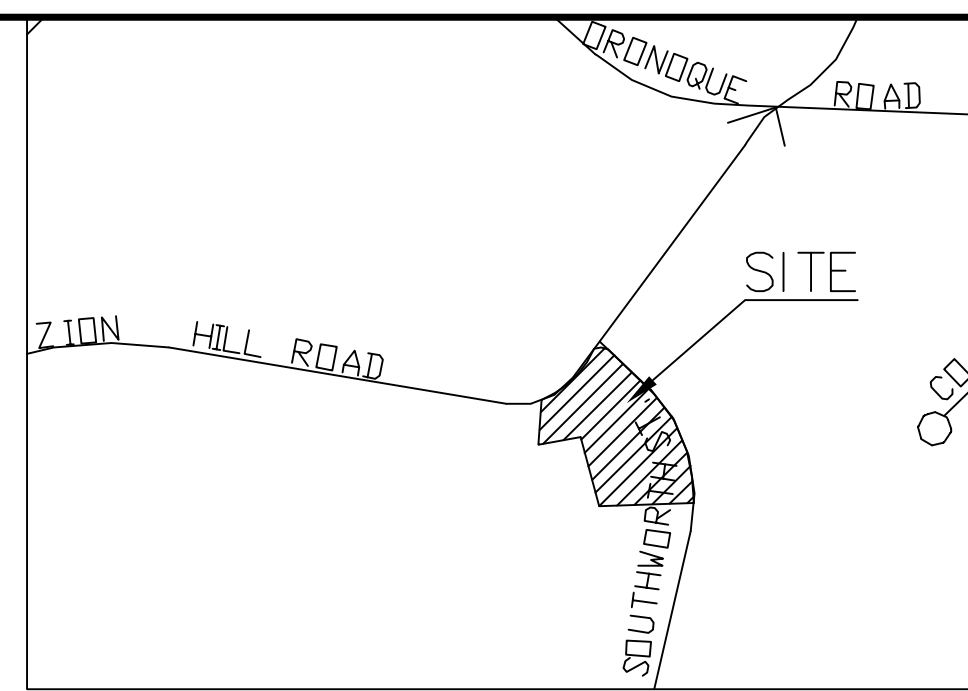
**C.C.G. CT CIVIL GROUP, LLC**  
Civil + Structural Engineering - Land Surveying  
Designers + Planners  
158 RESEARCH DRIVE, MILFORD, CT 06460  
(203) 874-8316 info@ctcivilgroup.com

**RE-SUBDIVISION**  
PREPARED FOR  
GAMS, LLC  
238 Zion Hill Rd., Milford, Connecticut

**Sub-1**

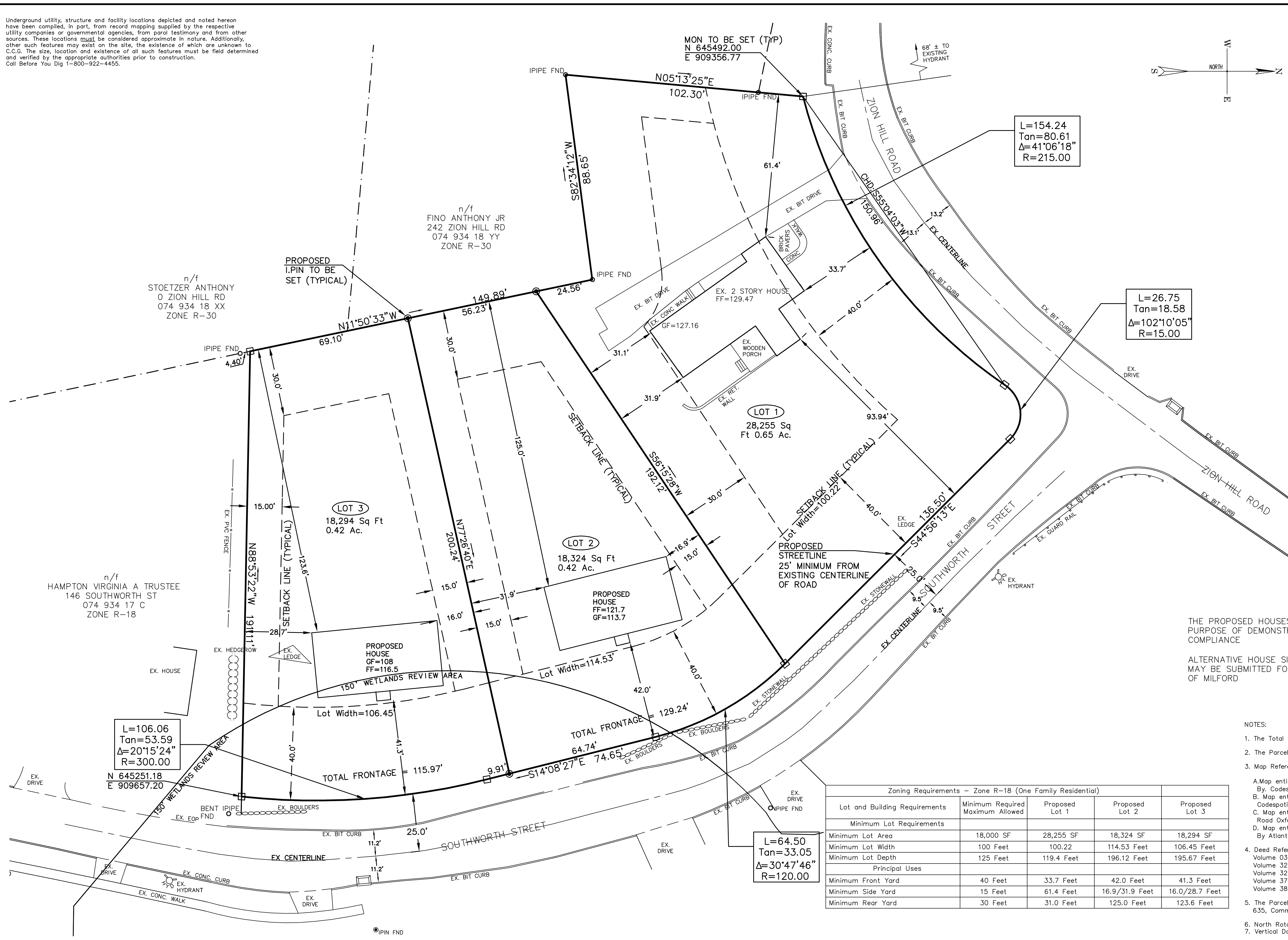
DATE: Dec. 09, 2021 FB: 469 TFF: 21 DRAWN BY: LML CHECKED: RWW  
Scale: 20 0 1" = 20' 20 40 BOX No.: 192 PROJECT No.: 2019-027  
DWG No.: 2498 SHT 3 of 9

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$$\tan=80.61$$

$$\Delta=41^{\circ}06'18''$$

$$R=215.00$$

$$L=26.75$$

$$\tan=18.58$$

$$\Delta=102^{\circ}10'05''$$

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$$\Delta=20^{\circ}15'24''$$

$$R=300.00$$

$$L=64.50$$

$$\tan=33.05$$

$$\Delta=30^{\circ}47'46''$$

$$R=120.00$$

THE PROPOSED HOUSES DEPICTED ARE FOR THE PURPOSE OF DEMONSTRATING ZONING COMPLIANCE

ALTERNATIVE HOUSE SIZE AND/OR LOCATION MAY BE SUBMITTED FOR APPROVAL BY THE CITY OF MILFORD

**NOTES:**

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Minimum Lot Depth	125 Feet	119.4 Feet	196.12 Feet	195.67 Feet
<b>Principal Uses</b>				
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Minimum Side Yard	15 Feet	61.4 Feet	16.9/31.9 Feet	16.0/28.7 Feet
Minimum Rear Yard	30 Feet	31.0 Feet	125.0 Feet	123.6 Feet

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**REVISIONS**

NO.	DESCRIPTION	DATE
1	Revised per City Planner's comments of 2/8/2022	LML 02/28/2022

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This survey conforms to Horizontal Accuracy Class A-2.

To my knowledge and belief, this map is substantially correct as noted hereon.

Date Feb. 28, 2022 By *[Signature]*  
Ronald W. Wassmer, PE LS CT Lic. No. 16975

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**ZONING COMPLIANCE PLAN**

PREPARED FOR  
GAMS, LLC

238 Zion Hill Rd., Milford, Connecticut

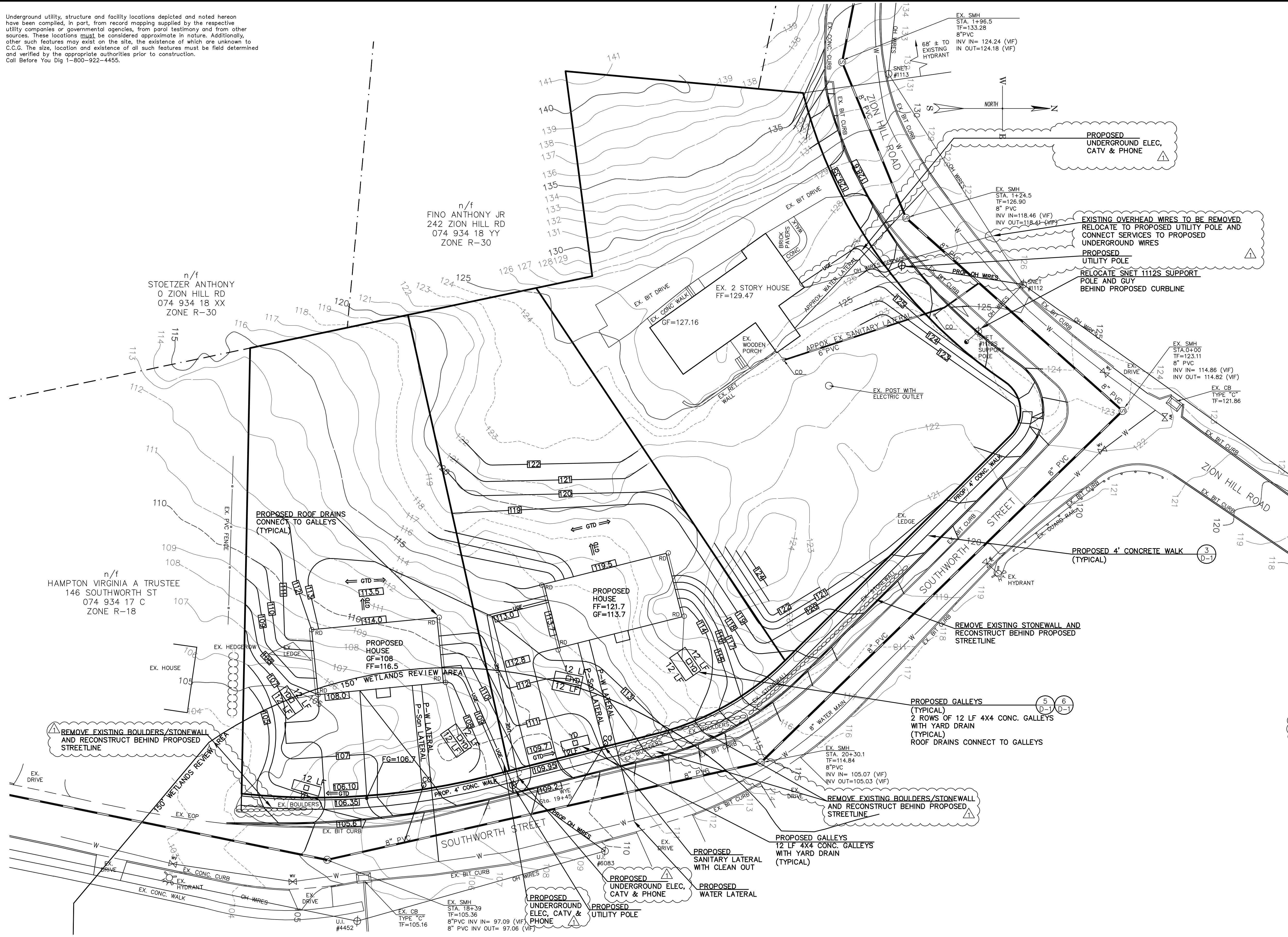
DATE: Dec. 09, 2021 FB: 469 TFF: 21 DRAWN BY: LML CHECKED: RWW

Scale: 1" = 20' 20' 40'

BOX No.: 192 PROJECT No.: 2019-027

DWG No.: 2498 SHT 4 of 9

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**LEGEND**

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G	GAS
G	GAS VALVE
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W	WATER VALVE
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W	EXISTING HYDRANT
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VIF	VERIFY IN FIELD
E	ELECTRIC METER
G	AC COMPRESSOR
G	GAS METER
T	TRANSFORMER
RD	ROOF DRAIN
P-D	PROPOSED ROOF DRAIN
P-UG	PROPOSED UNDERGROUND ELECTRICAL
P-GAS	PROPOSED GAS LINE
P-San	PROPOSED SANITARY SEWER
CO	SANITARY CLEAN OUT
P-W	PROPOSED WATER
GTD	GRADE TO DRAIN

THE PROPOSED HOUSES DEPICTED ARE FOR THE PURPOSE OF DEMONSTRATING ZONING COMPLIANCE

ALTERNATIVE HOUSE SIZE AND/OR LOCATION MAY BE SUBMITTED FOR APPROVAL BY THE CITY OF MILFORD

- CONSTRUCTION NOTES:**
- VERIFY ALL BUILDING DIMENSIONS WITH BUILDING PLAN PRIOR TO CONSTRUCTION
  - CONSTRUCT SILT FENCE AROUND PERIMETER OF LOT
  - INSTALL ANTI-TRACKING PAD
  - CONNECT ROOF DRAINS TO PROPOSED GALLEYS
  - PROPOSED BUILDINGS TO BE CONNECTED TO MUNICIPAL SANITARY SEWER AND WATER.
  - RECONSTRUCT CONC. APRON AND CURBING AS REQUIRED BY MILFORD PUBLIC WORKS.
  - ALL WORK WITHIN MUNICIPAL STREET TO BE CONDUCTED PER MILFORD PUBLIC WORKS STANDARDS.
  - ALL WORK WITHIN CDDT RIGHT OF WAY REQUIRE AN ENCROACHMENT PERMIT FROM CDDT.
  - ALL PROPOSED CATCH BASINS TO BE PROVIDED WITH 4' SUMPS AND HOODED OUTLETS

PROPOSED UNDERGROUND UTILITIES AS REQUIRED BY CITY OF MILFORD SUBDIVISION REGULATION 3.8.4

**MAINTENANCE AND OPERATION PLAN FOR THE STORM WATER TREATMENT AND MITIGATION SYSTEM**

EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ALL PAVING IS COMPLETED AND LANDSCAPING IS ESTABLISHED. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF ALL LANDSCAPING THE DRAINAGE STRUCTURES SHALL BE CLEANED OF ANY SEDIMENT. THE DRAINAGE SYSTEM SHALL BE CLEAN OF SEDIMENT AT A MINIMUM OF ONCE PER YEAR EACH SPRING. ALL WATER QUALITY CHAMBERS AND CATCH BASINS SHALL BE CLEANED AT LEAST ANNUALLY (MORE FREQUENTLY IF NECESSARY) BY A LICENSED CONTRACTOR WITH DISPOSAL AT AN APPROPRIATE FACILITY. ADDITIONAL SEDIMENT REMOVAL SHALL BE CONDUCTED IF NEEDED TO ENSURE THE FUNCTIONALITY OF THE DRAINAGE SYSTEM. THE INTENT OF THE DRAINAGE SYSTEM IS TO PROVIDE WATER QUALITY MEASURES, PROVIDE GROUNDWATER RECHARGE, MINIMIZE POTENTIAL EROSION OR SEDIMENTATION AND ATTENUATE STORM RUNOFF.

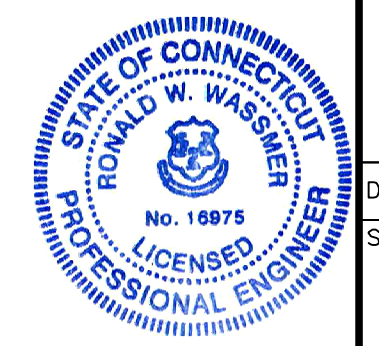
MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO SWEEPING OF THE PAVED AREAS WITH A VACUUM EQUIPPED STREET SWEEPING TRUCK, THE INSPECTION AND CLEANING OF THE WATER QUALITY CATCH BASIN STRUCTURE, THE CATCH BASIN SUMPS, AND THE GALLEY SYSTEM. PARKING LOTS SHOULD BE SWEEPED AT LEAST TWICE A YEAR. ANY AREA OF EROSION SHALL BE REPLANTED AND/OR THE LANDSCAPE MATERIALS SHALL BE MODIFIED TO PREVENT EROSION.

**REVISIONS**

Revised per City Planner's comments of 2/8/2022; Added notes	LML	02/28/2022
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**C.C.G. CT CIVIL GROUP, LLC**  
 Civil + Structural Engineering · Land Surveying  
 Designers + Planners  
 158 RESEARCH DRIVE, MILFORD, CT 06460  
 (203) 874-8316 info@ctcivilgroup.com

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 Date Feb. 28, 2022 By: [Signature]  
 Ron J. W. Wassmer, PE, LS, CT Lic. No. 16975  
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**GRADING, DRAINAGE, & UTILITY PLAN**  
 PREPARED FOR  
**GAMS, LLC**  
 238 Zion Hill Rd., Milford, Connecticut

DATE: Dec. 09, 2021	FB: 469	TFF: 21	DRAWN BY: LML	CHECKED: RWW
Scale: 20' = 1" = 20' 20' 40'	BOX No.: 192	PROJECT No.: 2019-027	DWG No.: 2498 SHT 5 of 9	

Underground utility, structure and facility locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to C.C.G. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Before You Dig 1-800-922-4455.

**SEDIMENTATION & EROSION CONTROL NARRATIVE**

The developer shall incorporate "Best Management Practices". The developer shall be familiar with all sedimentation and erosion control measures as detailed in "2002 CT Guidelines for Soil Erosion and Sediment Control" (GSESC).

The applicant shall request a preconstruction meeting with the project engineer and the site contractor. The zoning enforcement officer and/or the wetland enforcement officer. This meeting shall establish the requirements for temporary erosion control measurements (TECM) and permanent site stabilization requirements. These measures and requirements shall include but not limited to, locations of required measures, timing requirements for implementation, seeding and planting requirements, species, planting dates and fertilizer requirements.

Silt fencing shall be installed as indicated on this plan.

TECM shall be installed on all disturbed areas where it is impractical to establish permanent vegetation. Any area to remain disturbed for more than thirty days shall have temporary seeding installed. TECM shall include but not limited to temporary seeding, hay or wood chip mulch, silt fencing, and haybales.

TECM shall be placed at the discretion of the site contractor. Additional TECM shall be installed as required by zoning enforcement officer and/or wetlands enforcement officer.

The (TECM) shall be installed per (GSESC).

TECM shall be inspected daily and repaired or replaced as necessary to ensure optimum function.

The party responsible for TECM is Angelo Lisi 203-650-5669.

**PROJECT DESCRIPTION & LOCATION**

This site currently exists as a residential parcel with a house, barn, driveways, and associated infra-structure. The proposed residential subdivision would require construction of two houses, driveways, and associated infra-structure. The proposed grading onsite is substantially similar to existing grades.

The site is a 1.49 acre site that is gently sloped with a low area to the southeast of the parcel. It has frontage on two public roads (Zion Hill Road & Southworth Street) and abuts residential properties to the northwest and south.

LEGEND	
LD	LEADER DRAIN
☆	LIGHT POLE
□	CATCH BASIN, TYPE "CL"
□	CATCH BASIN, TYPE "C"
⊕	STORM SEWER MANHOLE
⊙	SANITARY SEWER MANHOLE
DW	DRY WELL
G	GAS
⊕	GAS VALVE
W	WATER
W	WATER VALVE
⊕	WATER SHUTOFF
⊕	PROPOSED HYDRANT
⊕	EXISTING HYDRANT
—	PROPOSED CONTOUR (typ.)
—	EXISTING CONTOUR (typ.)
●	TREE
●	SHRUB
□	MON
○	IRON PIPE
○	IRON PIN
△	DRILL HOLE
—	STONEWALL
—	STOCKADE FENCE
—	CHAIN LINK FENCE
○	PERC TEST
○	DEEP TEST PIT
○	WELL
○	WETLAND FLAG
14X9	EXISTING SPOT GRADE
14.9	PROPOSED SPOT GRADE
VF	VERIFY IN FIELD
E	ELECTRIC METER
⊕	AC COMPRESSOR
G	GAS METER
T	TRANSFORMER
RD	ROOF DRAIN
P-D	PROPOSED ROOF DRAIN
P-UG	PROPOSED UNDERGROUND ELECTRICAL
P-GAS	PROPOSED GAS LINE
P-San	PROPOSED SANITARY SEWER
CO	SANITARY CLEAN OUT
P-W	PROPOSED WATER
GTD	GRADE TO DRAIN

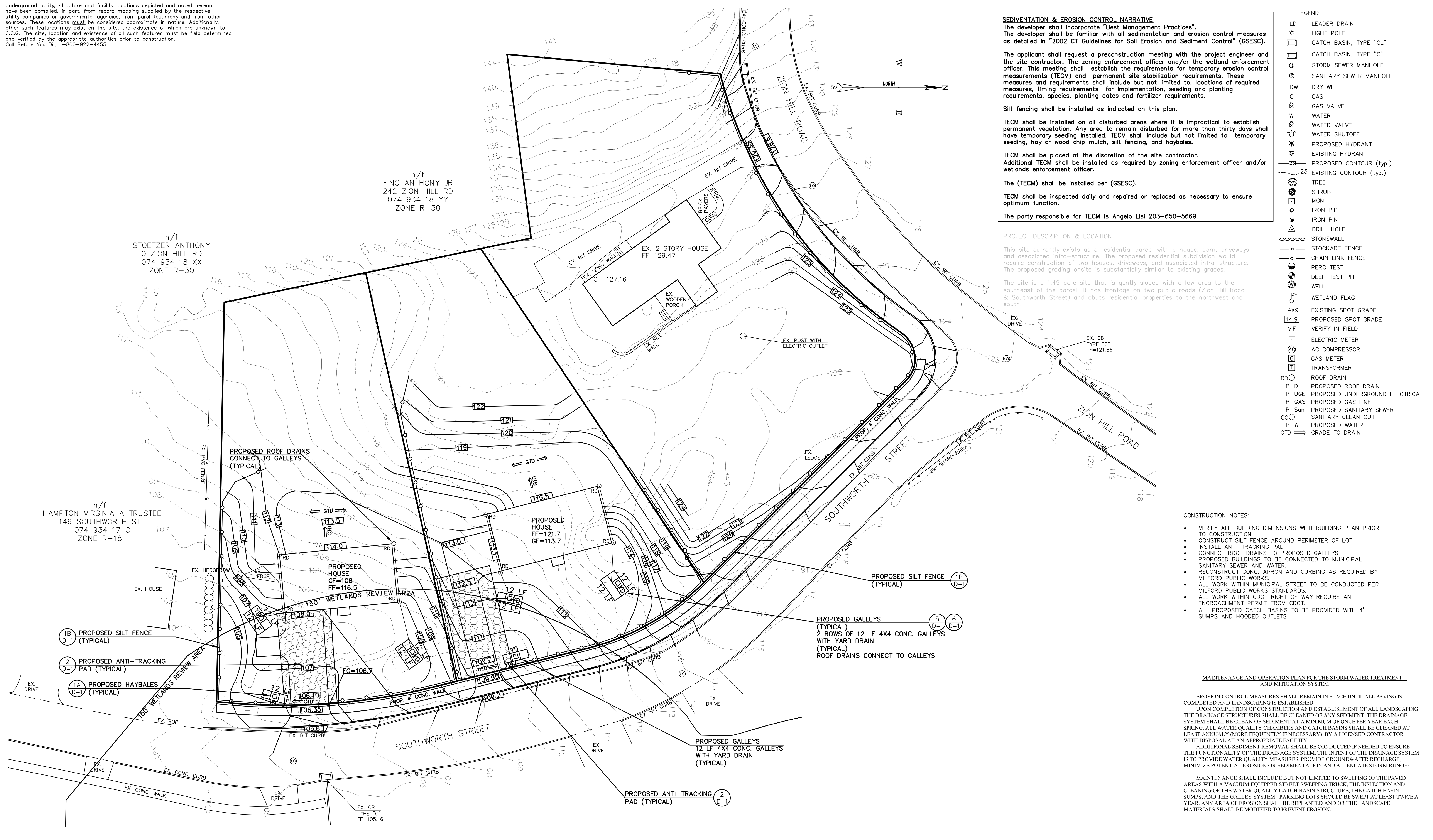
**CONSTRUCTION NOTES:**

- VERIFY ALL BUILDING DIMENSIONS WITH BUILDING PLAN PRIOR TO CONSTRUCTION
- CONSTRUCT SILT FENCE AROUND PERIMETER OF LOT
- INSTALL ANTI-TRACKING PAD
- CONNECT ROOF DRAINS TO PROPOSED GALLEYS
- PROPOSED BUILDINGS TO BE CONNECTED TO MUNICIPAL SANITARY SEWER AND WATER.
- RECONSTRUCT CONC. APRON AND CURBING AS REQUIRED BY MILFORD PUBLIC WORKS.
- ALL WORK WITHIN MUNICIPAL STREET TO BE CONDUCTED PER MILFORD PUBLIC WORKS STANDARDS.
- ALL WORK WITHIN CDOT RIGHT OF WAY REQUIRE AN ENCROACHMENT PERMIT FROM CDOT.
- ALL PROPOSED CATCH BASINS TO BE PROVIDED WITH 4' SUMPS AND HOODED OUTLETS

**MAINTENANCE AND OPERATION PLAN FOR THE STORM WATER TREATMENT AND MITIGATION SYSTEM**

EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ALL PAVING IS COMPLETED AND LANDSCAPING IS ESTABLISHED. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF ALL LANDSCAPING THE DRAINAGE STRUCTURES SHALL BE CLEANED OF ANY SEDIMENT. THE DRAINAGE SYSTEM SHALL BE CLEAN OF SEDIMENT AT A MINIMUM OF ONCE PER YEAR EACH SPRING. ALL WATER QUALITY CHAMBERS AND CATCH BASINS SHALL BE CLEANED AT LEAST ANNUALLY (MORE FREQUENTLY IF NECESSARY) BY A LICENSED CONTRACTOR WITH DISPOSAL AT AN APPROPRIATE FACILITY. ADDITIONAL SEDIMENT REMOVAL SHALL BE CONDUCTED IF NEEDED TO ENSURE THE FUNCTIONALITY OF THE DRAINAGE SYSTEM. THE INTENT OF THE DRAINAGE SYSTEM IS TO PROVIDE WATER QUALITY MEASURES, PROVIDE GROUNDWATER RECHARGE, MINIMIZE POTENTIAL EROSION OR SEDIMENTATION AND ATTENUATE STORM RUNOFF.

MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO SWEEPING OF THE PAVED AREAS WITH A VACUUM EQUIPPED STREET SWEEPING TRUCK, THE INSPECTION AND CLEANING OF THE WATER QUALITY CATCH BASIN STRUCTURE, THE CATCH BASIN SUMPS, AND THE GALLEY SYSTEM. PARKING LOTS SHOULD BE SWEEPED AT LEAST TWICE A YEAR. ANY AREA OF EROSION SHALL BE REPLANTED AND/OR THE LANDSCAPE MATERIALS SHALL BE MODIFIED TO PREVENT EROSION.



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REVISIONS	
1	Revised per City Planner's comments of 2/8/2022
LML	02/28/2022

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 Date Feb. 28, 2022 By *Ronald W. Wassmer*  
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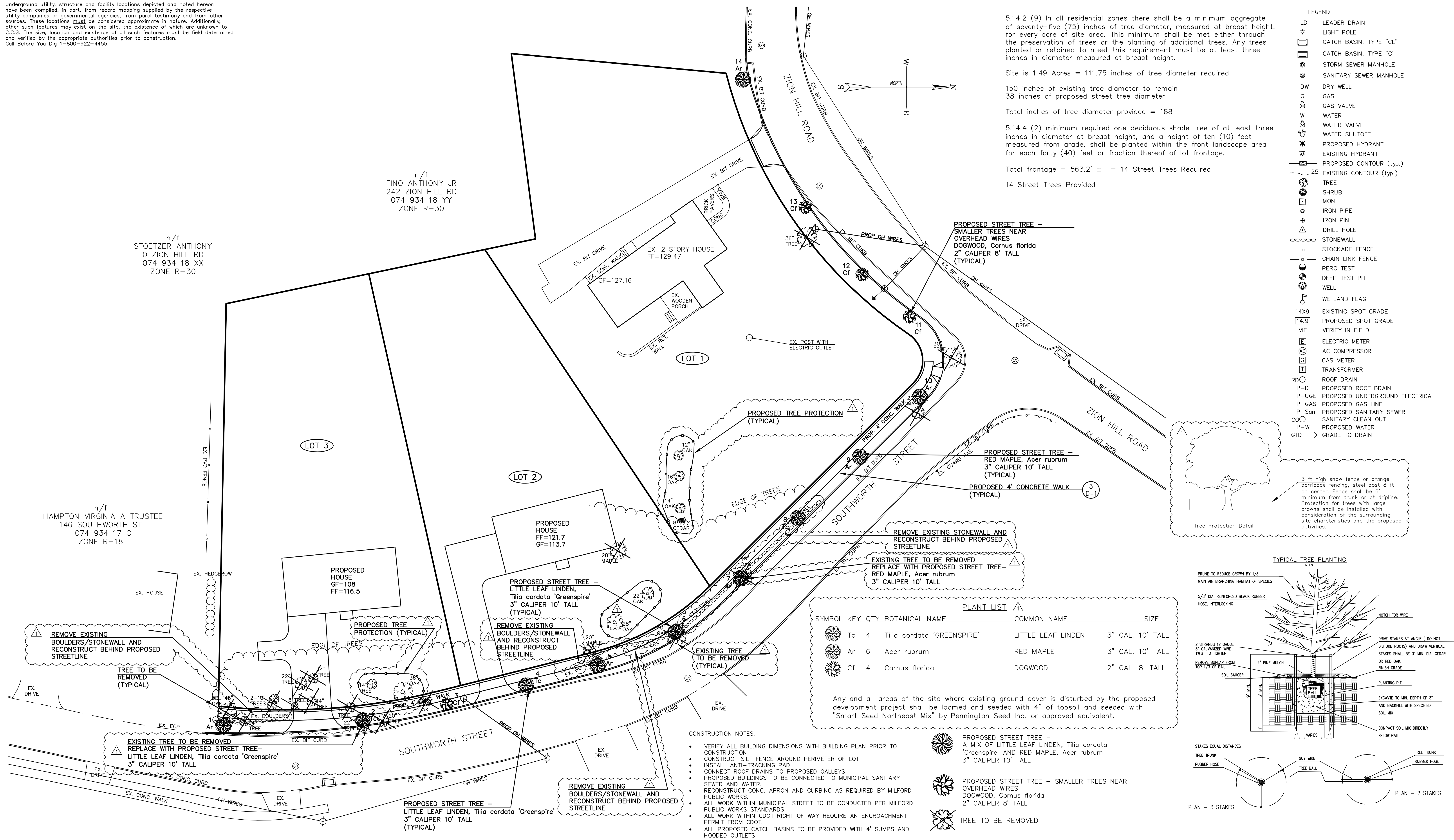


**SEDIMENTATION & EROSION CONTROL PLAN**  
 PREPARED FOR  
 GAMS, LLC  
 238 Zion Hill Rd., Milford, Connecticut

DATE: Dec. 09, 2021	FB: 469	TFF: 21	DRAWN BY: LML	CHECKED: RWW
Scale: 20' = 1" = 20' 20' 40'	BOX No.: 192	PROJECT No.: 2019-027		
DWG No.: 2498		SHT 6 of 9		



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5.14.2 (9) In all residential zones there shall be a minimum aggregate of seventy-five (75) inches of tree diameter, measured at breast height, for every acre of site area. This minimum shall be met either through the preservation of trees or the planting of additional trees. Any trees planted or retained to meet this requirement must be at least three inches in diameter measured at breast height.

Site is 1.49 Acres = 111.75 inches of tree diameter required

150 inches of existing tree diameter to remain  
38 inches of proposed street tree diameter

Total inches of tree diameter provided = 188

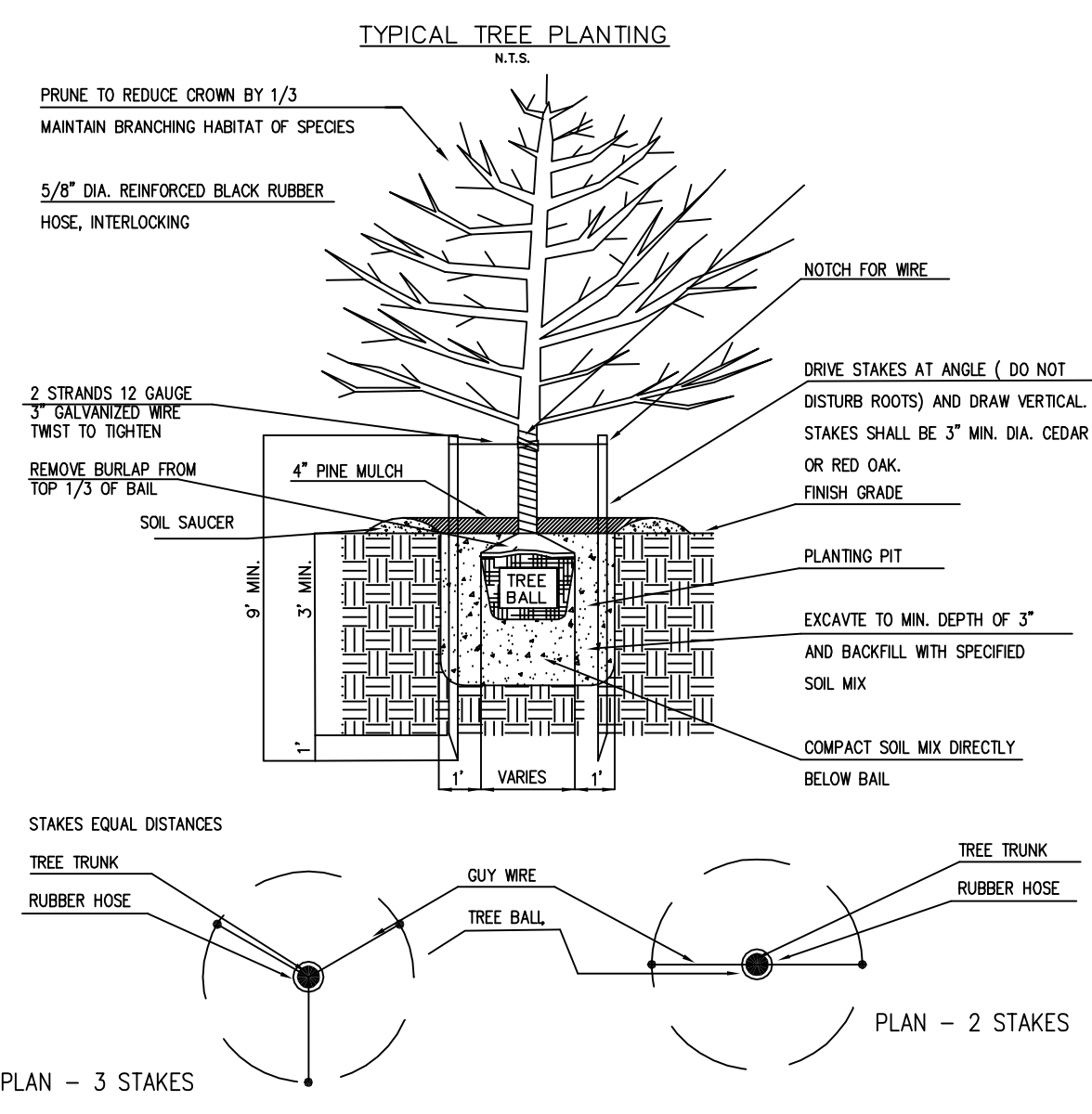
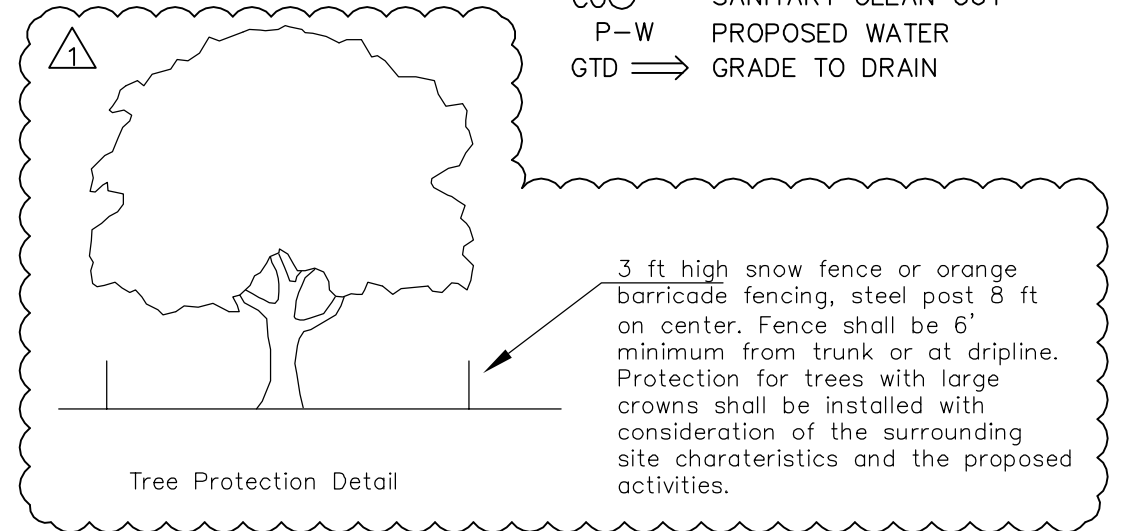
5.14.4 (2) minimum required one deciduous shade tree of at least three inches in diameter at breast height, and a height of ten (10) feet measured from grade, shall be planted within the front landscape area for each forty (40) feet or fraction thereof of lot frontage.

Total frontage = 563.2' ± = 14 Street Trees Required

14 Street Trees Provided

**LEGEND**

- LD LEADER DRAIN
- ☆ LIGHT POLE
- ☐ CATCH BASIN, TYPE "CL"
- ☐ CATCH BASIN, TYPE "C"
- ⊙ STORM SEWER MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- DW DRY WELL
- G GAS
- G GAS VALVE
- W WATER
- W WATER VALVE
- W WATER SHUTOFF
- ⊙ PROPOSED HYDRANT
- ⊙ EXISTING HYDRANT
- PROPOSED CONTOUR (typ.)
- 25 EXISTING CONTOUR (typ.)
- TREE
- SHRUB
- MON
- IRON PIPE
- IRON PIN
- DRILL HOLE
- STONEWALL
- STOCKADE FENCE
- CHAIN LINK FENCE
- ⊙ PERC TEST
- ⊙ DEEP TEST PIT
- WELL
- WETLAND FLAG
- 14X9 EXISTING SPOT GRADE
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- VIF VERIFY IN FIELD
- E ELECTRIC METER
- AC AC COMPRESSOR
- G GAS METER
- T TRANSFORMER
- RD ROOF DRAIN
- P-D PROPOSED ROOF DRAIN
- P-UG PROPOSED UNDERGROUND ELECTRICAL
- P-GAS PROPOSED GAS LINE
- P-San PROPOSED SANITARY SEWER
- COO SANITARY CLEAN OUT
- P-W PROPOSED WATER
- GTD GRADE TO DRAIN



**PLANT LIST**

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
Ar	Tc	4	Tilia cordata 'GREENSPIRE'	LITTLE LEAF LINDEN	3" CAL. 10' TALL
Ar	Ar	6	Acer rubrum	RED MAPLE	3" CAL. 10' TALL
Cf	Cf	4	Cornus florida	DOGWOOD	2" CAL. 8' TALL

Any and all areas of the site where existing ground cover is disturbed by the proposed development project shall be loamed and seeded with 4" of topsoil and seeded with "Smart Seed Northeast Mix" by Pennington Seed Inc. or approved equivalent.

- CONSTRUCTION NOTES:**
- VERIFY ALL BUILDING DIMENSIONS WITH BUILDING PLAN PRIOR TO CONSTRUCTION
  - CONSTRUCT SILT FENCE AROUND PERIMETER OF LOT
  - INSTALL ANTI-TRACKING PAD
  - CONNECT ROOF DRAINS TO PROPOSED GALLEYS
  - PROPOSED BUILDINGS TO BE CONNECTED TO MUNICIPAL SANITARY SEWER AND WATER.
  - RECONSTRUCT CONC. APRON AND CURBING AS REQUIRED BY MILFORD PUBLIC WORKS STANDARDS.
  - ALL WORK WITHIN MUNICIPAL STREET TO BE CONDUCTED PER MILFORD PUBLIC WORKS STANDARDS.
  - ALL WORK WITHIN CDOT RIGHT OF WAY REQUIRE AN ENCROACHMENT PERMIT FROM CDOT.
  - ALL PROPOSED CATCH BASINS TO BE PROVIDED WITH 4' SUMPS AND HOODED OUTLETS

- PROPOSED STREET TREE - A MIX OF LITTLE LEAF LINDEN, Tilia cordata 'Greenspire' AND RED MAPLE, Acer rubrum 3" CALIPER 10' TALL
- PROPOSED STREET TREE - SMALLER TREES NEAR OVERHEAD WIRES DOGWOOD, Cornus florida 2" CALIPER 8' TALL
- TREE TO BE REMOVED

**REVISIONS**

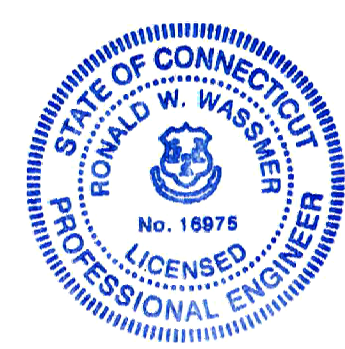
Added plant list table, tree protection, and notes	LML	02/28/2022
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**LANDSCAPE PLAN**  
 PREPARED FOR  
 GAMS, LLC  
 238 Zion Hill Rd., Milford, Connecticut

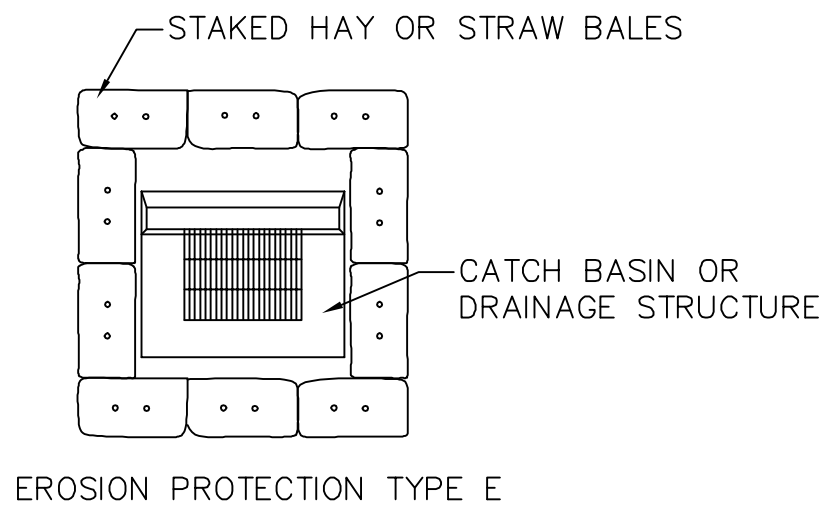
DATE: Dec. 09, 2021 FB: 469 TFF: 21 DRAWN BY: LML CHECKED: RWW

Scale: 0 1" = 20' 20 40

BOX No.: 192 PROJECT No.: 2019-027

DWG No.: 2498 SHT 8 of 9





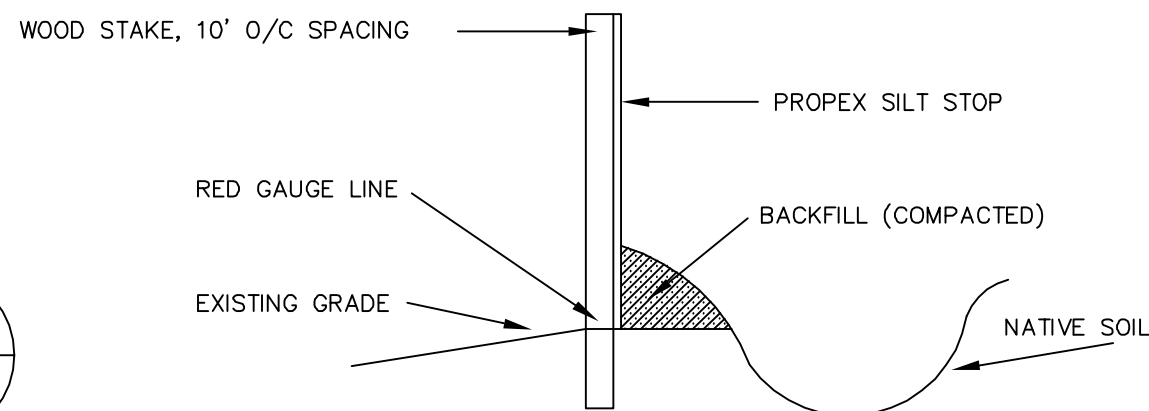
EROSION PROTECTION TYPE E

NOTES

- BALES SHALL BE "SEDIMENTATION CONTROL BALES" CONFORMING TO SECTION 2.18. FILTER FABRIC MAY BE SUBSTITUTED FOR BALES AND SHALL CONFORM TO SECTION 2.19 "SEDIMENTATION CONTROL SYSTEM".
- STAKES SHALL BE HARDWOOD MINIMUM SIZE SHALL BE 1"x1"x3'-0".
- BALES SHALL BE 3" BELOW GROUND. FILTER FABRIC SHALL BE 6" BELOW GROUND AS DESCRIBED IN SECTION 2.19.
- BALES SHALL BE PLACED AS SHOWN ON THE PLANS, INCLUDING THE UPSTREAM SIDE OF ALL DRIVEWAYS AND AS DIRECTED BY THE ENGINEER.
- ALL METHODS, MATERIALS AND PROCEDURES FOR EROSION AND SEDIMENT CONTROL SHALL CONFORM TO FORM 814 & "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION, JANUARY 1985" (OR LATEST REVISION), AND AS DIRECTED BY THE ENGINEER.

1A  
D-1

SILT BARRIER/FENCE DETAIL (N.T.S.)



1B  
D-1

CONSTRUCTION ENTRANCE

DEFINITION: AN ENTRANCE TO THE SITE SPECIFICALLY DESIGNED TO REDUCE THE AMOUNT OF SEDIMENT TRACKED OFF SITE BY VEHICLES.

APPLICATION

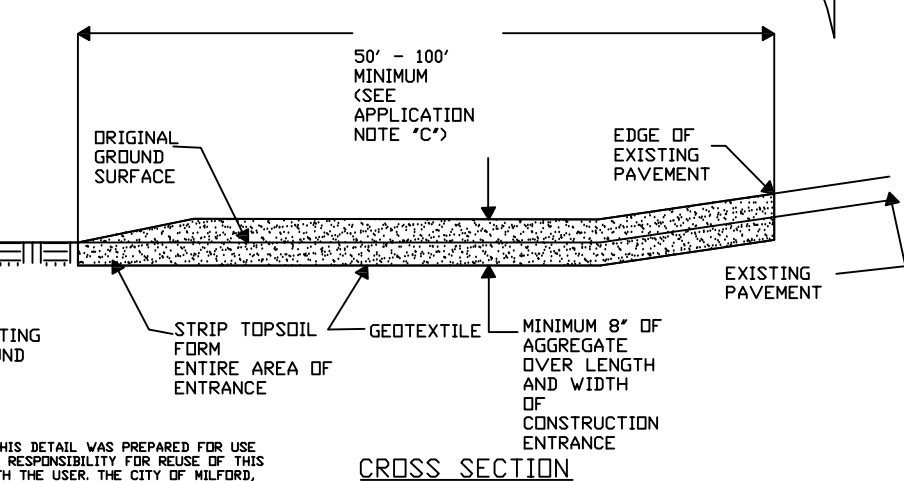
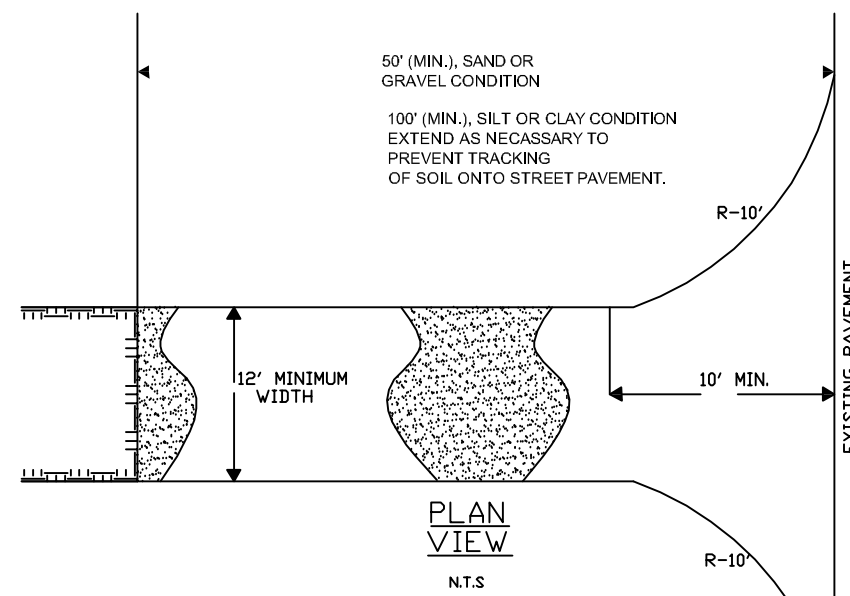
- A - LOCATED WHERE CONSTRUCTION VEHICLES ENTER AND LEAVE WORK SITE INTO PUBLIC R.O.W.
- B - REDUCES BUT MAY NOT ELIMINATE NEED FOR STREET SWEEPING.
- C - PLAN TO MAKE STONE AVAILABLE FOR MAINTENANCE OF ENTRANCE.

MAINTENANCE

- AS REQUIRED, APPLY ADDITIONAL STONE OR WASH AND REMOVE EXISTING STONE.
- REMOVE ANY SEDIMENT APPEARING ON IN ROADWAYS OR STORM DRAINS IMMEDIATELY.

INSTALLATION

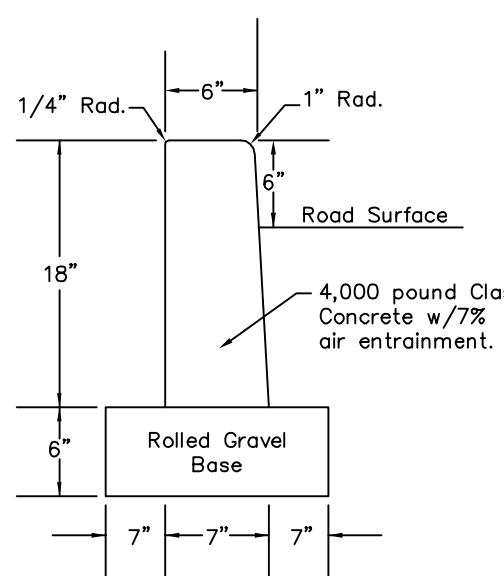
- CLEAR THE ENTRANCE OF ALL VEGETATION AND EXTRANEIOUS MATERIALS AND STRIP EXISTING TOPSOIL FROM CONSTRUCTION ENTRANCE LOCATION.
- AT POORLY DRAINED LOCATION INSTALL SUBSURFACE DRAINAGE. PROVIDE FOR SURFACE WATER CONVEYANCE UNDER ENTRANCE WITH CULVERTS AS NEEDED.
- PLACE FILTER FABRIC UNDERLINER OVER THE FULL WIDTH AND LENGTH OF ENTRANCE AND COVER WITH CORR. DOT #3 (2) STONE TO A DEPTH OF NO LESS THAN 8".
- AS NEEDED, INSTALL WASH RACKS AND SEDIMENTATION FACILITIES FOR WASHING. WHEN MAJORITY OF MUD IS NOT REMOVED FROM VEHICLES TRAVELING OVER STONE, SEDIMENT SHOULD BE INTERCEPTED AND TRAPPED SO IT CAN BE REMOVED AND STABILIZED.



PLACEMENT & CONSTRUCTION OF A STABILIZED CONSTRUCTION ENTRANCE

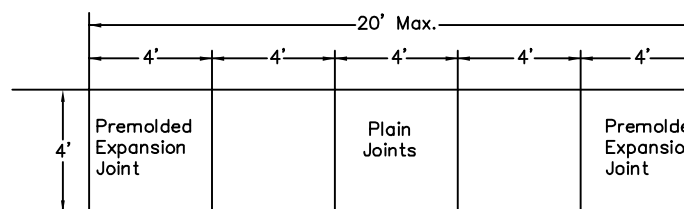
2  
D-1

TYPICAL CROSS-SECTION CONCRETE BATTERED CURB



Scale N.T.S.

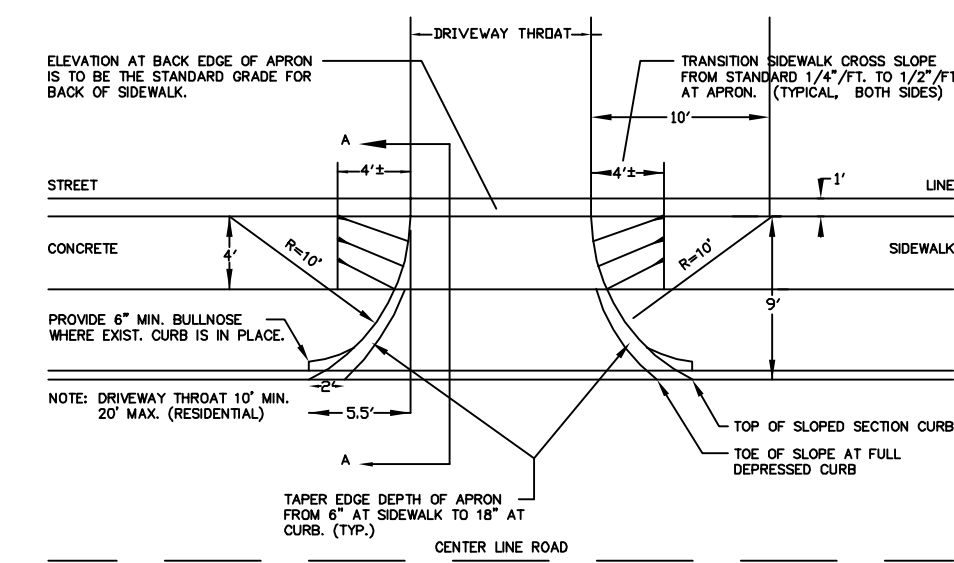
CONCRETE SIDEWALK DETAIL



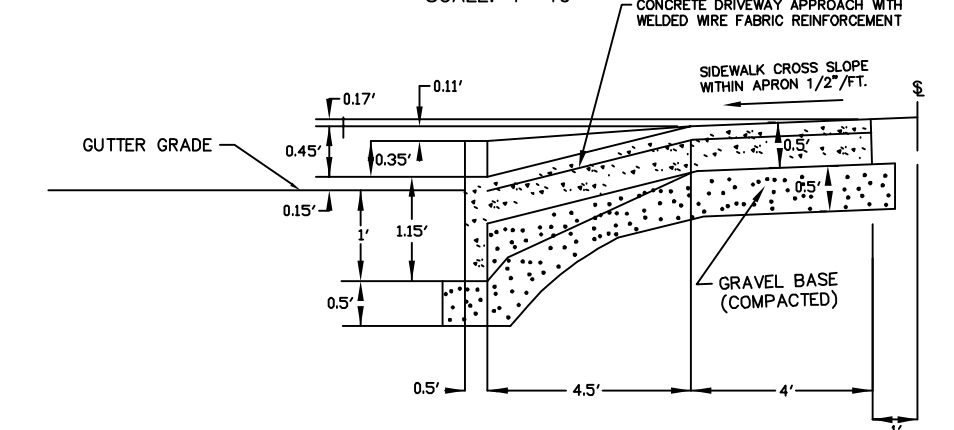
Concrete sidewalks shall be a minimum of four (4) feet in width and shall be located within the streetline with one edge one (1) foot from the property line. All sidewalks shall be laid on a six (6) inch gravel base, watered and rolled to an optimum moisture content and compacted prior to pouring. The sidewalk shall be constructed of concrete four (4) inches thick, having a 28 day compressive strength of 3,500 psi and having expansion joints with preformed fillers spaced not more than 20 feet apart and with suitable weakened plain joints every four feet. The walk shall have a cross slope of 1/4 inch per foot, shall be poured in one pour and shall be finished with a light transverse broom finish. Where the concrete sidewalk is subject to vehicular traffic, such as at driveways, the thickness shall be increased to six (6) inches, increased to 4,000 psi compressive strength, and have a 6x6-6/8 wire mesh reinforcement placed in the middle of the slab.

N.T.S.

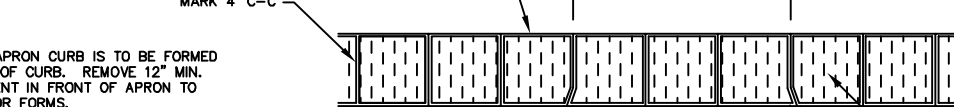
3  
D-1



PLAN SCALE: 1"=10'



SECTION A-A SCALE: (HOR.) 1"=4' (VER.) 1"=2'

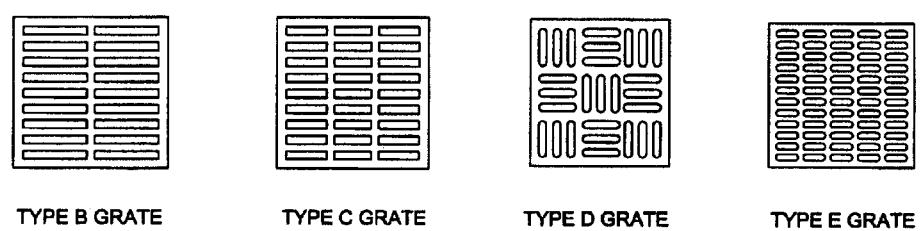
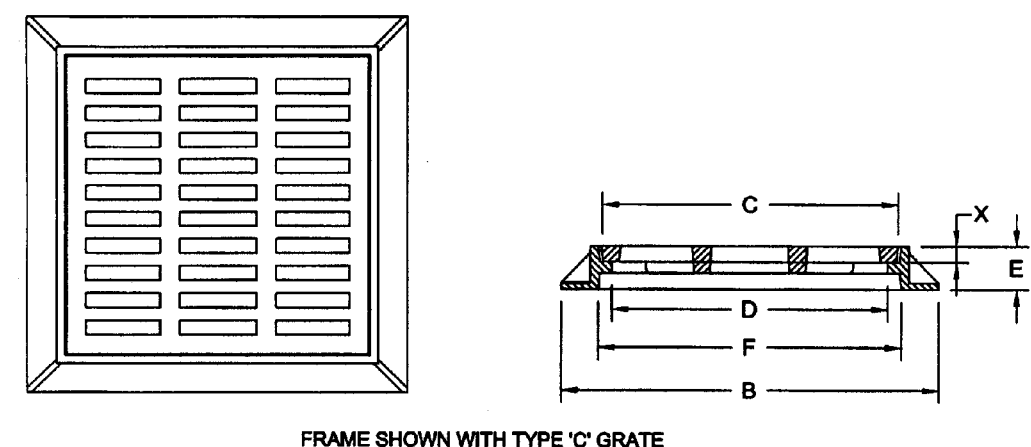


SCORING AND FINISHING DETAIL N.T.S.

CONCRETE DRIVEWAY APPROACH STANDARD

4  
D-1

GENERAL FOUNDRIES INC.



ITEM NUMBER	DIMENSIONS IN INCHES						GRATE TYPE
	B	C	D	E	F	X	
21833*	23	18	17	3	18-3/8	1	C
21834*	23	18	17	3	18-3/8	1	D
22431*	29-5/8	23-1/2	21-5/8	3-3/8	23-3/4	1-1/4	C
22451	32-5/8	23-1/2	21-1/2	5	23-1/2	1-3/8	B
22531	32	28	24-3/4	3	24-3/4	1-1/2	E
23033	34	30	28	2-1/2	28	1-1/2	C
23241*	38	32	30-1/8	4	32-1/4	1-1/2	E

\*REVERSIBLE TYPE FRAMES.

HEAVY DUTY SQUARE FRAMES & GRATES

SUITABLE FOR A.A.S.H.T.O. H 20-44 AND HS 20-44 HIGHWAY LOADING.

5  
D-1

4'x4'x4' GALLEY REGULAR LEACHING CHAMBER

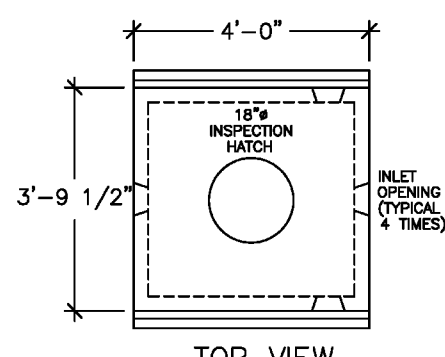
GALLEY DESIGN SPECIFICATIONS CONFORMS TO LATEST ASTM DESIGNATION C913

- NOTES:
- PIPE INLET LOCATIONS HAVE 4" DIAMETER KNOCKOUTS. TYPICAL CUSTOM KNOCKOUTS CAN BE CAST ON REQUEST.
  - REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
  - CONCRETE COMPRESSIVE STRENGTH- 4000 PSI AT 28 DAYS.
  - METHOD OF MANUFACTURE: WET CAST.
  - SECTION IS MONOLITHIC.

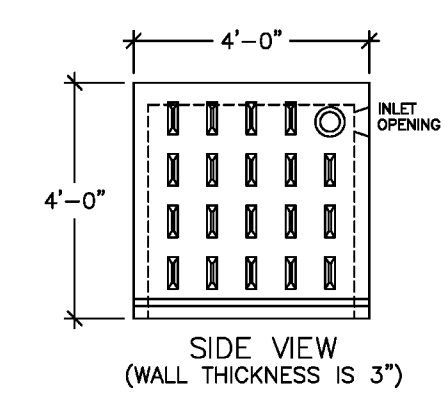
PROJECT	APPROX WEIGHT
4'x4'x4' GALLEY	2200 LBS.

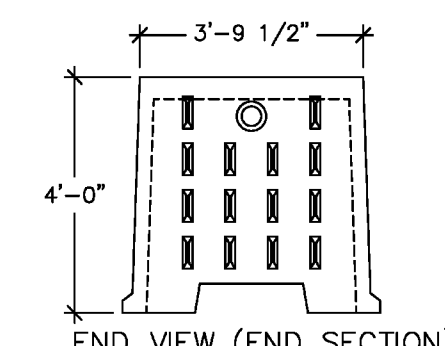
FLOW LINE (INCHES)	LEACHING (GAL/24 HRS)	LEACHING (GAL/DAY)	INSIDE CAPACITY (GAL/DAY)
36	8.2	36.8	330



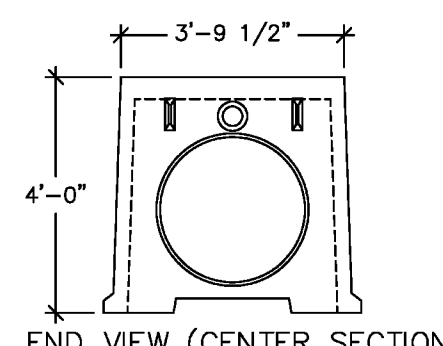
TOP VIEW (ROOF SLAB THICKNESS IS 5")



SIDE VIEW (WALL THICKNESS IS 3")



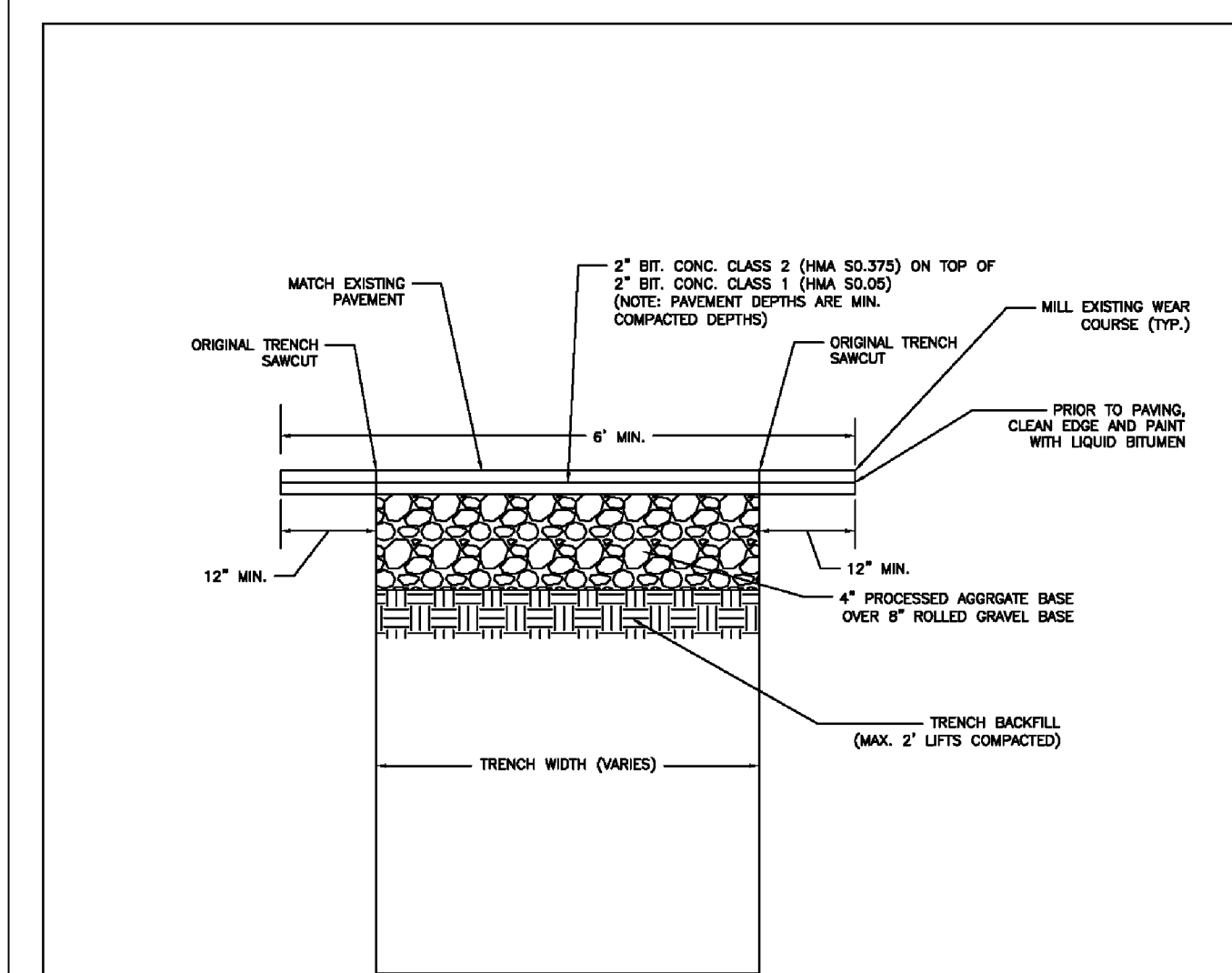
END VIEW (END SECTION) (WALL THICKNESS IS 3")



END VIEW (CENTER SECTION) (WALL THICKNESS IS 3")

**UNITED CONCRETE PRODUCTS INC.**  
173 CHURCH STREET TEL. 800 234-3119 FAX. (203) 265-4941  
YALESVILLE, CT 06492 (203) 269-3119

6  
D-1



- NOTES:
- PRIOR TO PAVING, THE CONTRACTOR IS TO NOTIFY THE ENGINEERING DIVISION.
  - PAVING SPECIFICATIONS ARE TO FOLLOW SECTION 4.08 OF THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION FORM 817 AND SUPPLEMENT SPECIFICATIONS.
  - PARTICULAR ATTENTION WILL BE PAID TO TEMPERATURE OF THE BITUMINOUS CONCRETE, AMBIENT AIR TEMPERATURE AND GROUND TEMPERATURE.
  - ALL PAVEMENT SHALL BE PLACED BY MECHANICAL MEANS.

TRENCH PAVEMENT RESTORATION

CITY OF MILFORD  
DEPT. OF PUBLIC WORKS  
ENGINEERING BUREAU  
GREGORY POLSKA, P.E., L.S.  
CITY ENGINEER

DATE: JUN 02, 2017  
TIME: 10:52

7  
D-1

8  
D-1

REVISIONS

Revised per City Planner's comments of 2/8/2022; added detail LML 02/28/2022

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Ronald W. Wassmer, PE, LS CT Lic. No. 16975

This survey is not valid unless it bears a live signature and live seal.

The word "certify" is understood to be an expression of professional opinion by the land surveyor that is based on his best knowledge, information, and belief. As such, it constitutes neither a guarantee nor warranty, expressed or implied.



DETAILS  
PREPARED FOR  
GAMS, LLC

238 Zion Hill Rd., Milford, Connecticut

DATE: Dec. 09, 2021

FB: 469

TFF: 21

DRAWN BY: RWW

CHECKED: RWW

Scale:

NOT TO SCALE

BOX No.: 192

PROJECT No.: 2019-027

DWG No.: 2498

SHT 9 of 9

D-1