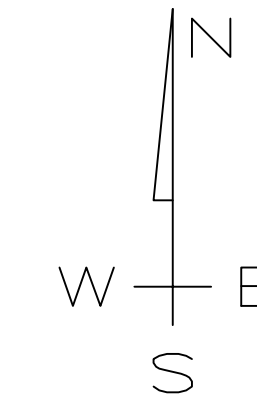
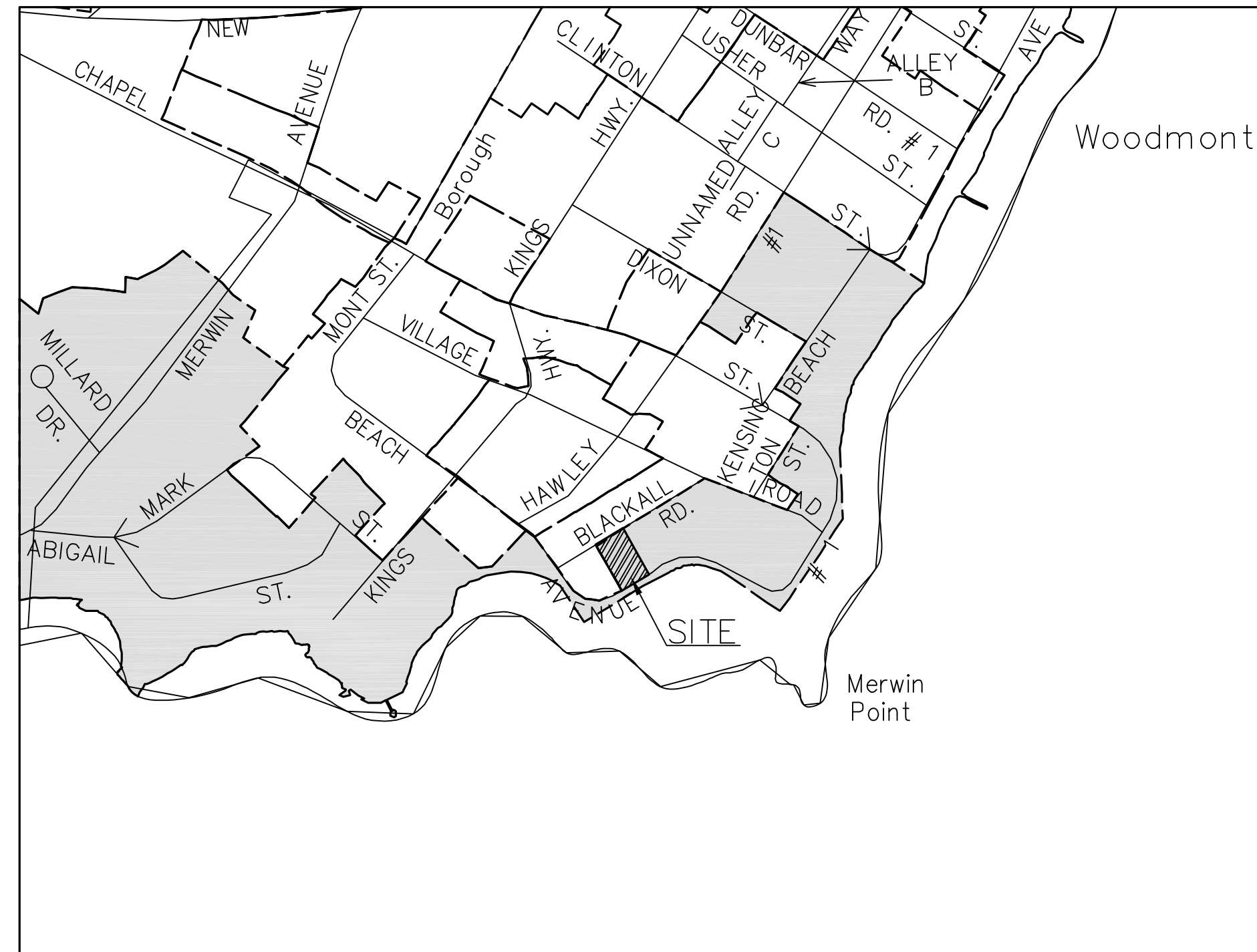


SITE PLAN

128 Beach Avenue

Milford, Connecticut

MAP 60 BLOCK 743 PARCEL 11
ZONE R-7.5

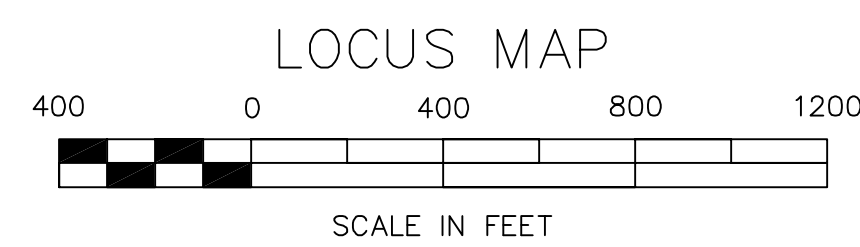


Applicant
Thomas B. Lynch, Esq.
63 Cherry Street, Milford, CT 06460
203-878-4669
lynch@ltmblaw.com

Owner
Mervyn Klein
128 Beach Ave, Milford, CT
646-319-9800
mervynklein@yahoo.com

Architect
Peter B. Cooper & Associates
14 Overbrook Rd, Ramsey, NJ
201-512-1146
peter@pbcarchitects.com

Engineer
Ronald W. Wassmer, PEL 16975
CT Civil Group, LLC
158 Research Dr. Unit M, Milford, CT
203-874-8316
info@ctcivilgroup.com

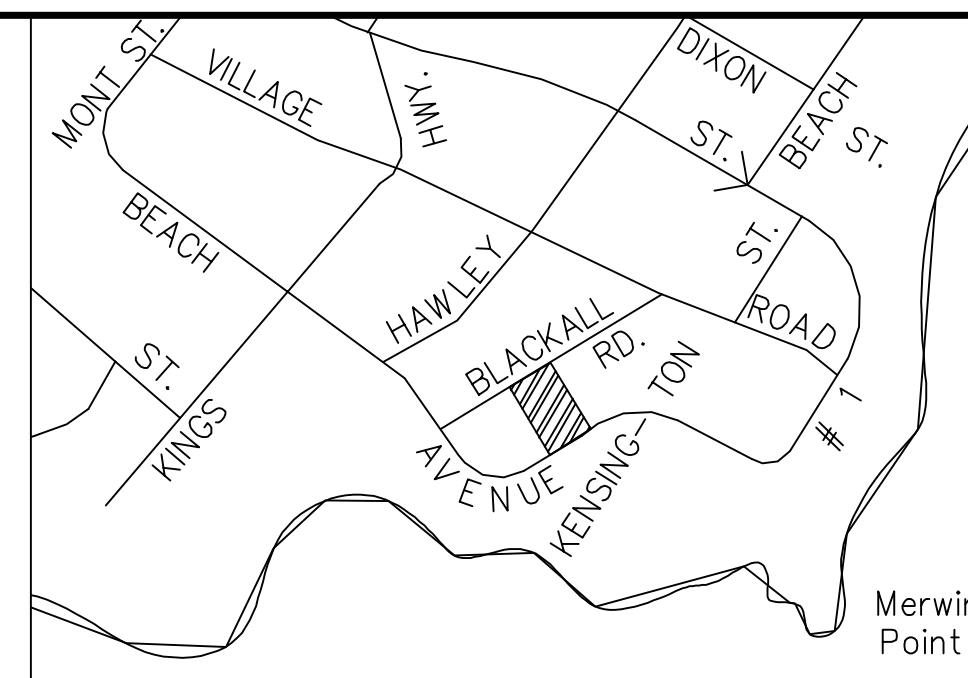
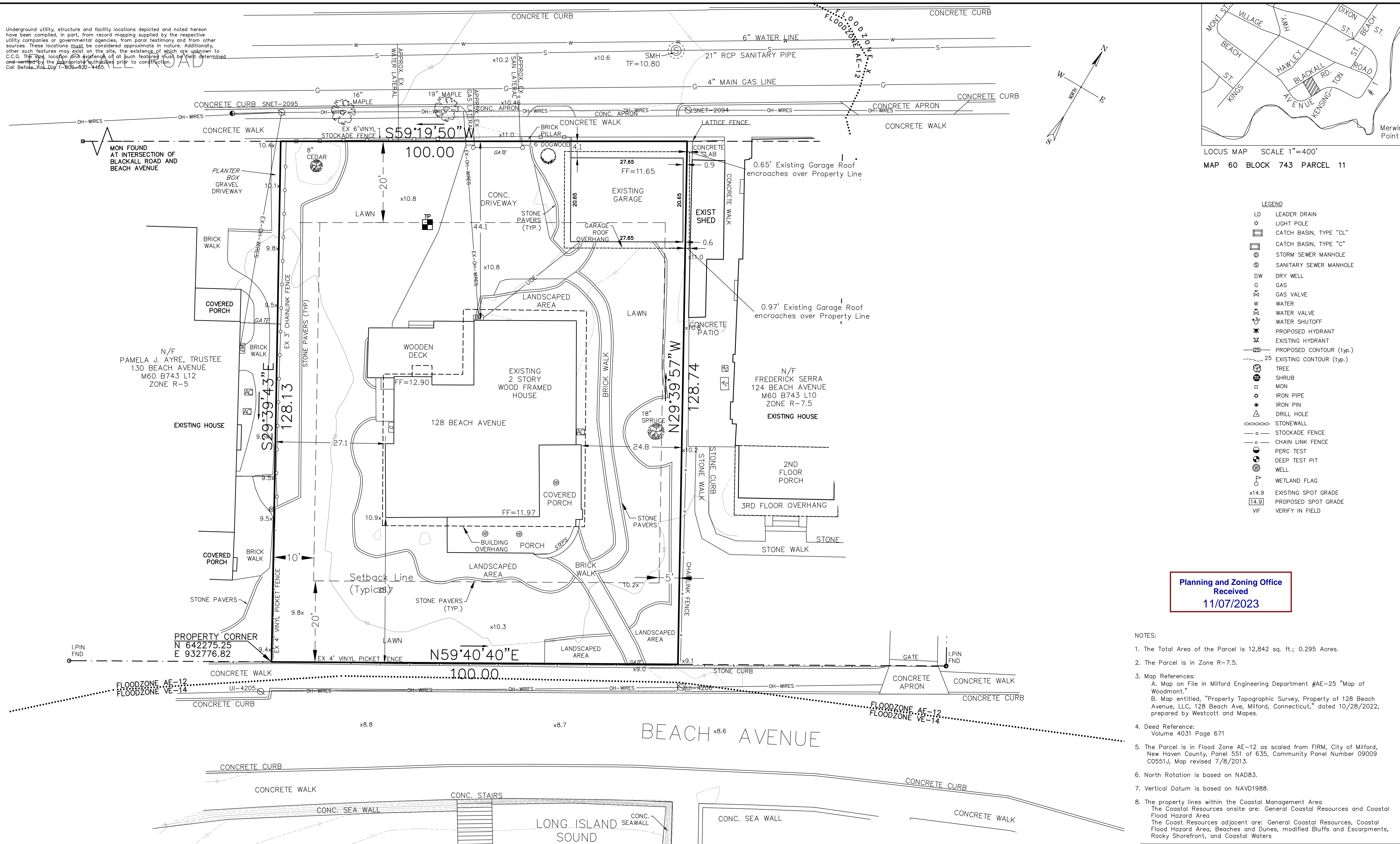


SUBMITTED FOR:	
DATE	
10-05-2023	Planning and Zoning

INDEX			DATE	REVISION DATE
SHEET NAME	SHEET	DESCRIPTION		
T-1	1	TITLE SHEET	10-05-2023	
EX-1	2	EXISTING CONDITIONS SURVEY	10-05-2023	
DM-1	3	DEMOLITION PLAN	10-05-2023	
SP-1	4	SITE PLAN	10-05-2023	
GDU-1	5	GRADING & DRAINAGE & UTILITY PLAN	10-05-2023	
ES-1	6	SEDIMENTATION & EROSION CONTROL PLAN	10-05-2023	
D-1	7	DETAILS SHEET 1	10-05-2023	
D-2	8	DETAILS SHEET 2	10-05-2023	
A-1 - A-5		Architectural Plans	10-04-2023	
G-2 - G-3		Architectural Plans	10-04-2023	

P:\Land Projects\2023-2024\128 Beach Avenue\128 Beach Ave ver2023_Site Plan_2023-09-20.dwg, TITLE, 10/5/2023 10:35:16 AM, 1:1

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LOCUS MAP SCALE 1"=400'
MAP 60 BLOCK 743 PARCEL 11

LEGEND

LD	LEADER DRAIN
*	LIGHT POLE
□	CATCH BASIN, TYPE "CL"
□	CATCH BASIN, TYPE "C"
⊙	STORM SEWER MANHOLE
⊙	SANITARY SEWER MANHOLE
DW	DRY WELL
G	GAS
⊙	GAS VALVE
W	WATER
⊙	WATER VALVE
⊙	WATER SHUTOFF
⊙	PROPOSED HYDRANT
⊙	EXISTING HYDRANT
—	PROPOSED CONTOUR (typ.)
—	EXISTING CONTOUR (typ.)
⊙	TREE
⊙	SHRUB
⊙	MON
⊙	IRON PIPE
⊙	IRON PIN
⊙	DRILL HOLE
⊙	STONEWALL
⊙	STOCKADE FENCE
⊙	CHAIN LINK FENCE
⊙	PERC TEST
⊙	DEEP TEST PIT
⊙	WELL
⊙	WETLAND FLAG
x14.9	EXISTING SPOT GRADE
14.9	PROPOSED SPOT GRADE
VIF	VERIFY IN FIELD

Planning and Zoning Office
Received
11/07/2023

- NOTES:
- The Total Area of the Parcel is 12,842 sq. ft.; 0.295 Acres.
 - The Parcel is in Zone R-7.5.
 - Map References:
A. Map on File in Milford Engineering Department #AE-25 "Map of Woodmont."
B. Map entitled, "Property Topographic Survey, Property of 128 Beach Avenue, LLC, 128 Beach Ave, Milford, Connecticut," dated 10/28/2022, prepared by Westcott and Mapes.
 - Deed Reference:
Volume 4031 Page 671
 - The Parcel is in Flood Zone AE-12 as scaled from FIRM, City of Milford, New Haven County, Panel 551 of 635, Community Panel Number 09009 C0551J, Map revised 7/8/2013.
 - North Rotation is based on NAD83.
 - Vertical Datum is based on NAVD1988.
 - The property lines within the Coastal Management Area
The Coastal Resources onsite are: General Coastal Resources and Coastal Flood Hazard Area
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C.C.G. CT CIVIL GROUP, LLC
Civil + Structural Engineering - Land Surveying
Designers + Planners
158 RESEARCH DRIVE, MILFORD, CT 06460
(203) 874-8316 info@ctcivilgroup.com

NOTES:
This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Survey and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
It is a Property Survey based upon a Dependent Resurvey and is intended to depict the locations of all boundary monumentation found or set, relationship of improvements and features to the boundary, record easements, means of ingress and egress, lines of occupation, deed restrictions, conflicts, and encroachments.
This survey conforms to Horizontal Accuracy Class A-2.

To my knowledge and belief, this map is substantially correct as noted hereon.
Date: Oct. 5, 2023 By: *Ronald W. Wassmer*
Ronald W. Wassmer, PE LS CT Lic. No. 16975
This survey is not valid unless it bears a live signature and live seal.
The word "certify" is understood to be an expression of professional opinion by the land surveyor that is based on his best knowledge, information, and belief. As such, it constitutes neither a guarantee nor warranty, expressed or implied.



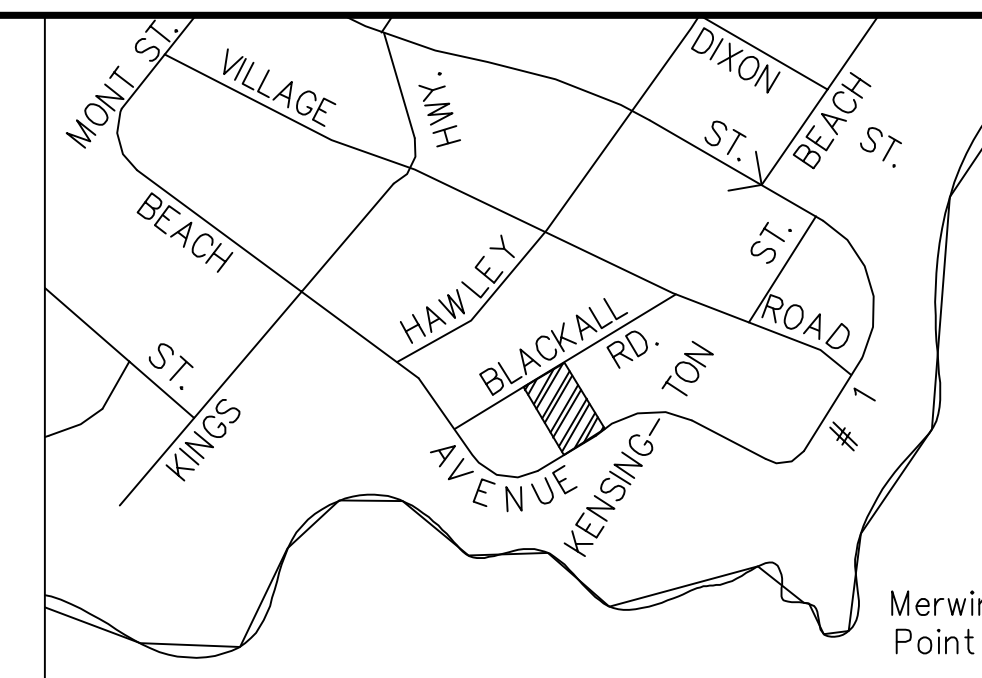
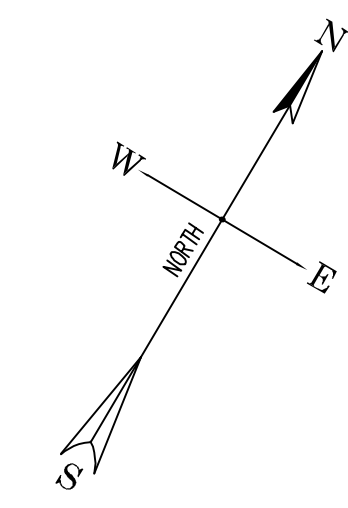
EXISTING CONDITIONS SURVEY
PREPARED FOR
MERYVN KLEIN
128 Beach Ave, Milford, Connecticut

DATE: Oct. 5, 2023 FB: 480 TFF: 5 DRAWN BY: RWW CHECKED: RWW
Scale: 10 0 1" = 10' 10 20
BOX No.: 181 PROJECT No.: 2023-003
DWS No.: 2545 SHT 2 of 8

EX-1

P:\Land Projects\2023-003 Klein, 128 Beach Avenue\dwg\128 Beach Ave ver1023 Site Plan 2023-09-20.dwg, Ex Cond 128, 10/5/2023 9:11:03 AM, 1:1

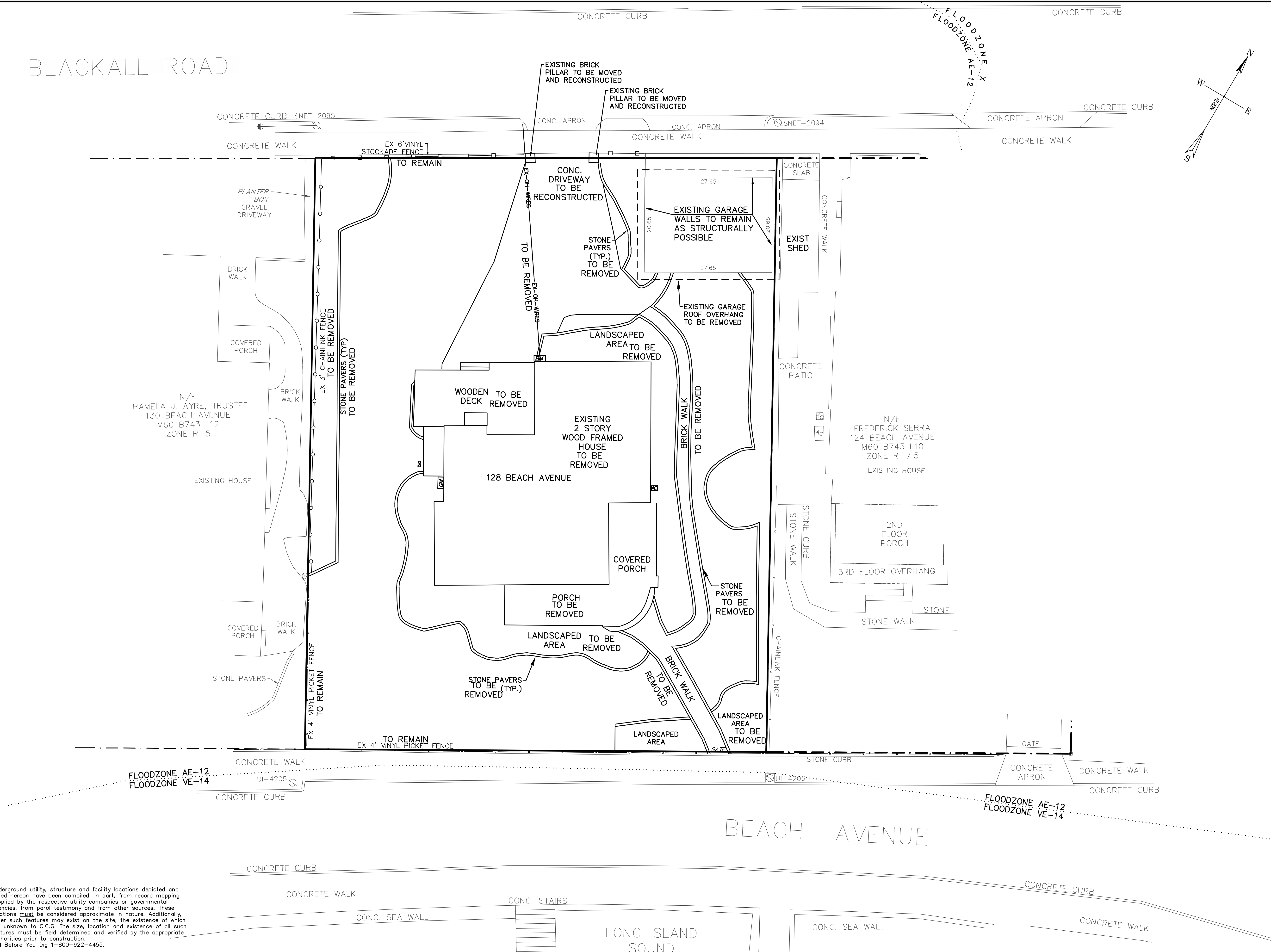
BLACKALL ROAD



LOCUS MAP SCALE 1"=400'
MAP 60 BLOCK 743 PARCEL 11

LEGEND

- LD LEADER DRAIN
- ☆ LIGHT POLE
- ☐ CATCH BASIN, TYPE "CL"
- ☐ CATCH BASIN, TYPE "C"
- ⊙ STORM SEWER MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- DW DRY WELL
- G GAS
- G GAS VALVE
- W WATER
- W WATER VALVE
- W WATER SHUTOFF
- ⊙ PROPOSED HYDRANT
- ⊙ EXISTING HYDRANT
- 25 PROPOSED CONTOUR (typ.)
- 25 EXISTING CONTOUR (typ.)
- TREE
- SHRUB
- MON
- IRON PIPE
- IRON PIN
- △ DRILL HOLE
- STONEWALL
- STOCKADE FENCE
- CHAIN LINK FENCE
- PERC TEST
- DEEP TEST PIT
- WELL
- △ WETLAND FLAG
- x14.9 EXISTING SPOT GRADE
- 14.9 PROPOSED SPOT GRADE
- VIF VERIFY IN FIELD

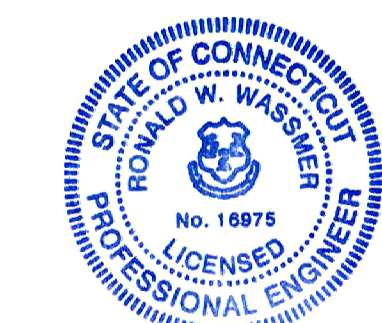


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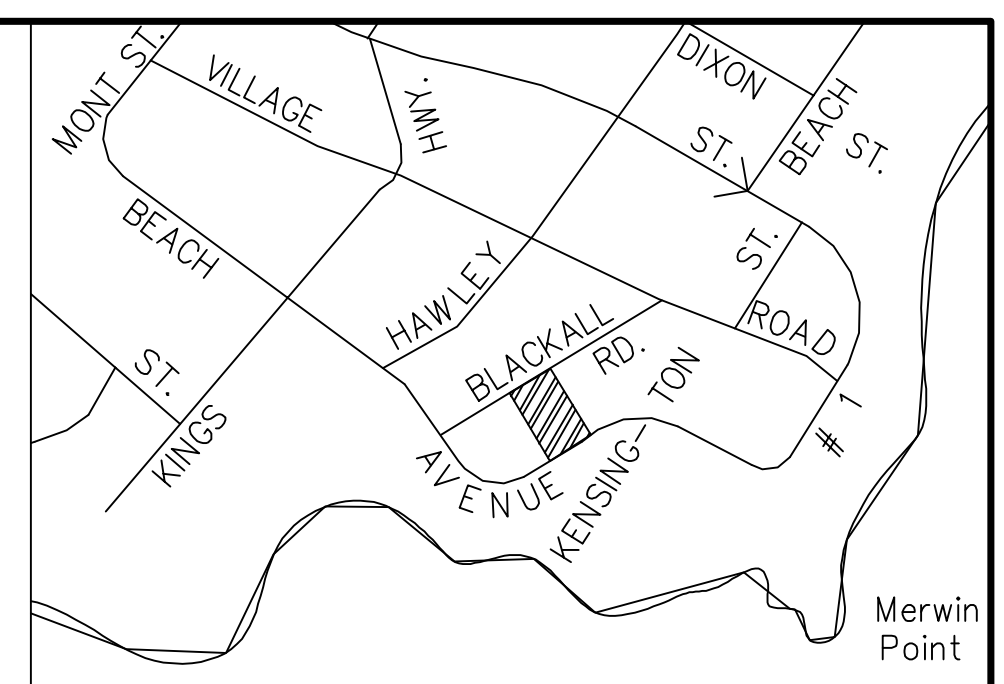
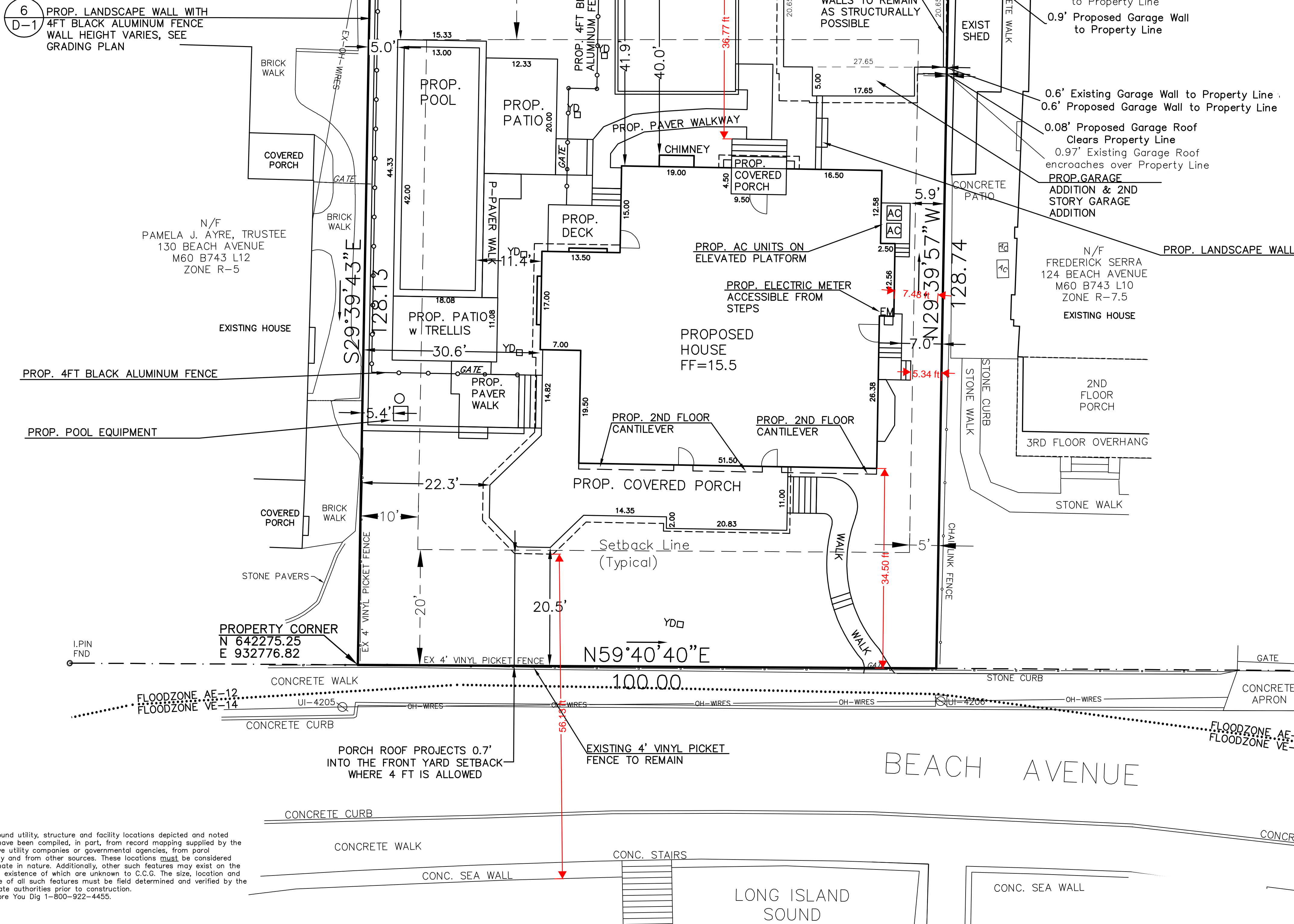


DEMOLITION PLAN				DM-1
PREPARED FOR MERVYN KLEIN 128 Beach Ave, Milford, Connecticut				
DATE: Oct. 5, 2023	FB: 480	TFF: 5	DRAWN BY: LML	CHECKED: RWW
Scale: 1" = 10'		BOX No.: 181		PROJECT No.: 2023-003
		DWS No.: 2545		SHT 3 of 8

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BLACKALL ROAD

6
D-1
PROP. LANDSCAPE WALL WITH
4FT BLACK ALUMINUM FENCE
WALL HEIGHT VARIES, SEE
GRADING PLAN



LOCUS MAP SCALE 1"=400'
MAP 60 BLOCK 743 PARCEL 11

LEGEND

- LD LEADER DRAIN
- ☆ LIGHT POLE
- ☐ CATCH BASIN, TYPE "CL"
- ☐ CATCH BASIN, TYPE "C"
- ⊙ STORM SEWER MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- DW DRY WELL
- G GAS
- G GAS VALVE
- W WATER
- W WATER VALVE
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- x14.9 EXISTING SPOT GRADE
- [14.9] PROPOSED SPOT GRADE
- VIF VERIFY IN FIELD

ZONE R-7.5

MINIMUM LOT REQUIREMENTS SECTION 3.1.4.1	ALLOWABLE	EXISTING	PROPOSED
DESCRIPTION			
LOT AREA (SQUARE FEET)	7,500 SF	12,842± SF	12,842± SF
LOT WIDTH (FEET)	60 FEET	100.0 FT	100.0 FT
LOT DEPTH (FEET)	85 FEET	128.4 FT	128.4 FT
PRINCIPAL USES			
FRONT YARD: BLACKALL	20	44.1 FT	40.0 FT
FRONT YARD: BEACH AVE	20	35.7 FT	20.5 FT
EACH SIDE YARD	**	24.8 FT	5.9 FT
REAR YARD	25 FEET	N/A	N/A
ACCESSORY STRUCTURES			
SIDE YARD GARAGE	4 FEET	0.6 FT*1	0.6 FT*1
FRONT YARD GARAGE (BLACKALL)	20 FEET	4.1 FT*2	4.1 FT*2
SIDE YARD POOL	4 FEET	N/A	5.0 FT
FRONT YARD POOL (BLACKALL)	20 FEET	N/A	20.0 FT
Maximum height = 15 ft. all residential districts (Sec. 4.1.1.3. - no building shall exceed 15 feet in height)			
		EXISTING GARAGE HEIGHT = 10.83 FT	PROPOSED GARAGE HEIGHT = 15.0 FT
MAXIMUM PERMITTED			
FEET IN HEIGHT	35 FEET	2-STORY	29.58 FT see Average grade detail on sheet D-1 and Arch sheet A-4
BUILDING AREAS AS % OF LOT	40 %	19.7%	33.3 %
LOT COVERAGE	60 %	37.2 %	50.4 %

** ONE SIDE TEN (10) ; OTHER SIDE FIVE (5) FEET .
4.1.1.1 NO STRUCTURE OR ACCESSORY BUILDING SHALL BE LOCATED IN ANY REQUIRED FRONT YARD. THE SUBJECT PROPERTY CONTAINS TWO FRONT YARDS (BEACH AVE AND BLACKALL ROAD)
*1 GARAGE - SIDE YARD SETBACK IS EXISTING NON-CONFORMING
*2 GARAGE - FRONT YARD (BLACKALL ROAD) IS EXISTING NON-CONFORMING

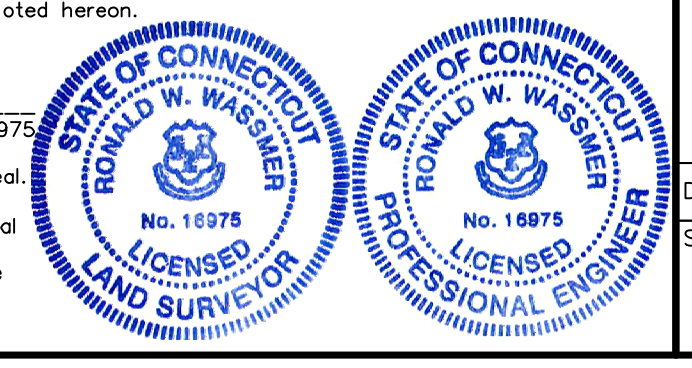
**Planning and Zoning Office
Received
11/07/2023**

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Call Before You Dig 1-800-922-4455.

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It is an Improvement Location Survey based upon a Dependent Resurvey and is intended to depict the position, horizontally and, where required, vertically, between particular existing or proposed improvements with respect to applicable municipal or statutory requirements. The purpose is to enable determination of compliance with said improvements.
This survey conforms to Horizontal Accuracy Class A-2.

To my knowledge and belief, this map is substantially correct as noted hereon.
Date: Oct. 5, 2023 By: *Ronald W. Wassmer*
Ronald W. Wassmer, PE LS CT Lic. No. 16975
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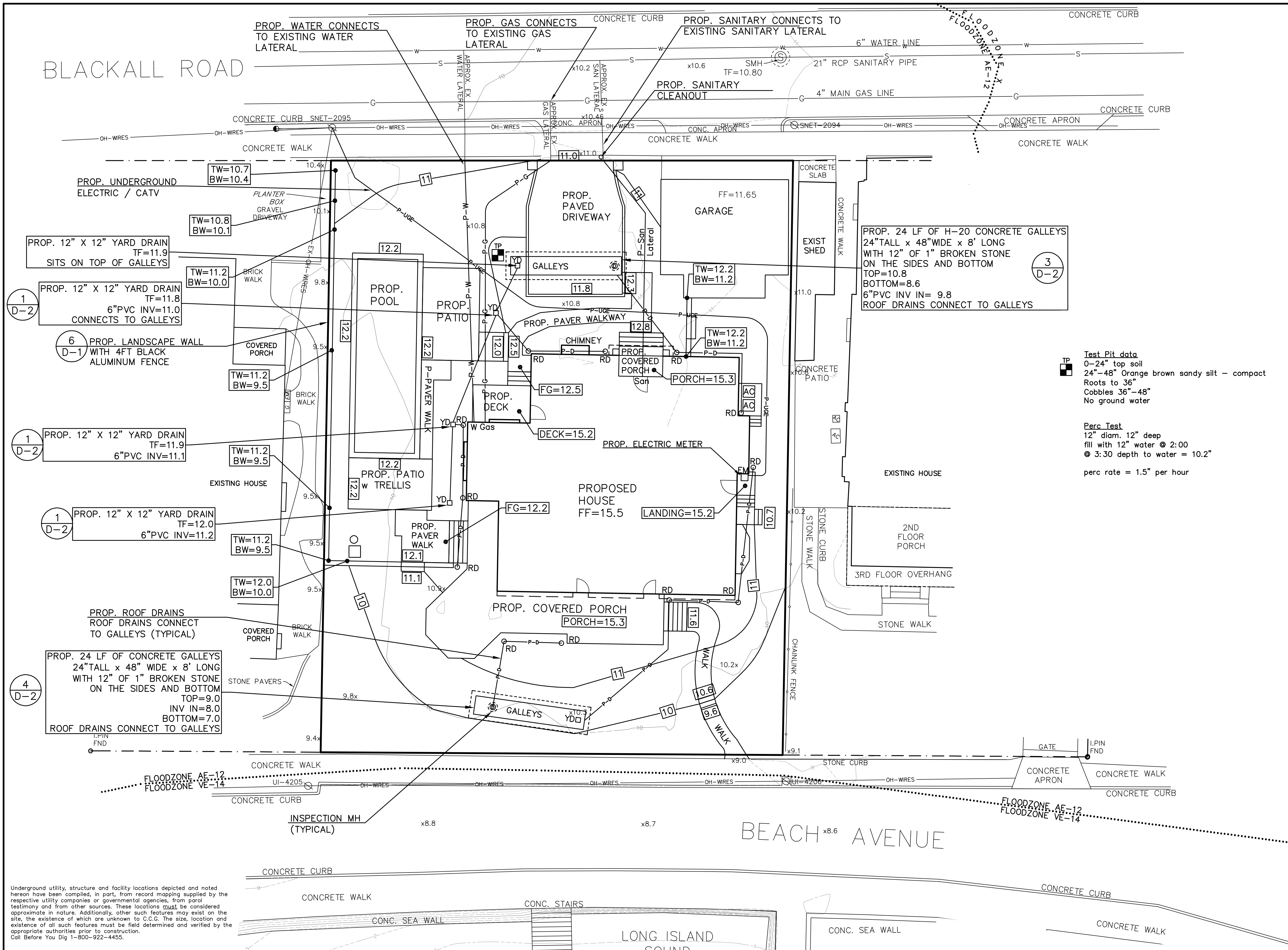
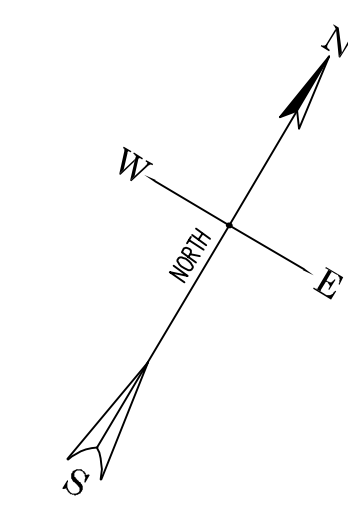
SITE PLAN
PREPARED FOR
MERYVN KLEIN
128 Beach Ave, Milford, Connecticut

SP-1

DATE: Oct. 5, 2023 FB: 480 TFF: 5 DRAWN BY: LML CHECKED: RWW
Scale: 10 0 1" = 10' 10 20
BOX No.: 181 PROJECT No.: 2023-003
DWS No.: 2545 SH4 of 8

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BLACKALL ROAD



- LEGEND**
- LD LEADER DRAIN
 - ☆ LIGHT POLE
 - ⊠ CATCH BASIN, TYPE "CL"
 - ⊠ CATCH BASIN, TYPE "C"
 - ⊙ STORM SEWER MANHOLE
 - ⊙ SANITARY SEWER MANHOLE
 - DW DRY WELL
 - G GAS
 - W WATER
 - W VALVE WATER VALVE
 - W SHUTOFF WATER SHUTOFF
 - ⊙ PROPOSED HYDRANT
 - ⊙ EXISTING HYDRANT
 - ⊙ PROPOSED CONTOUR (typ.)
 - ⊙ EXISTING CONTOUR (typ.)
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 - ⊙ SHRUB
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 - ⊙ IRON PIPE
 - ⊙ IRON PIN
 - ⊙ DRILL HOLE
 - ⊙ STONEMAN
 - ⊙ STOCKADE FENCE
 - ⊙ CHAIN LINK FENCE
 - ⊙ PERC TEST
 - ⊙ DEEP TEST PIT
 - ⊙ WELL
 - ⊙ WETLAND FLAG
 - x14.9 EXISTING SPOT GRADE
 - [14.9] PROPOSED SPOT GRADE
 - VIF VERIFY IN FIELD
 - EM ELECTRIC METER
 - AC AC COMPRESSOR
 - GAS METER
 - TRANSFORMER
 - RD ROOF DRAIN
 - P-D PROPOSED ROOF DRAIN
 - P-UGE PROPOSED UNDERGROUND ELECTRICAL
 - P-GAS PROPOSED GAS LINE
 - P-San PROPOSED SANITARY SEWER
 - P-W PROPOSED WATER
 - GTD GRADE TO DRAIN
 - YD YARD DRAIN

Test Pit data
 0-24" top soil
 24"-48" Orange brown sandy silt - compact
 Roots to 36"
 Cobbles 36"-48"
 No ground water

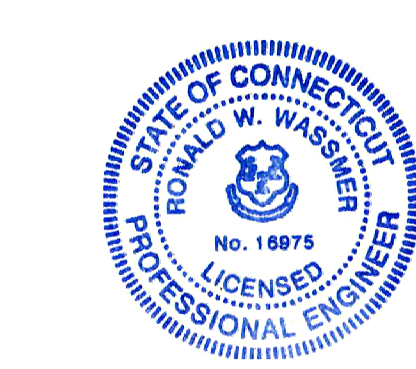
Perc Test
 12" diam. 12" deep
 fill with 12" water @ 2:00
 @ 3:30 depth to water = 10.2"
 perc rate = 1.5" per hour

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 (203) 874-8316 info@ctcivilgroup.com

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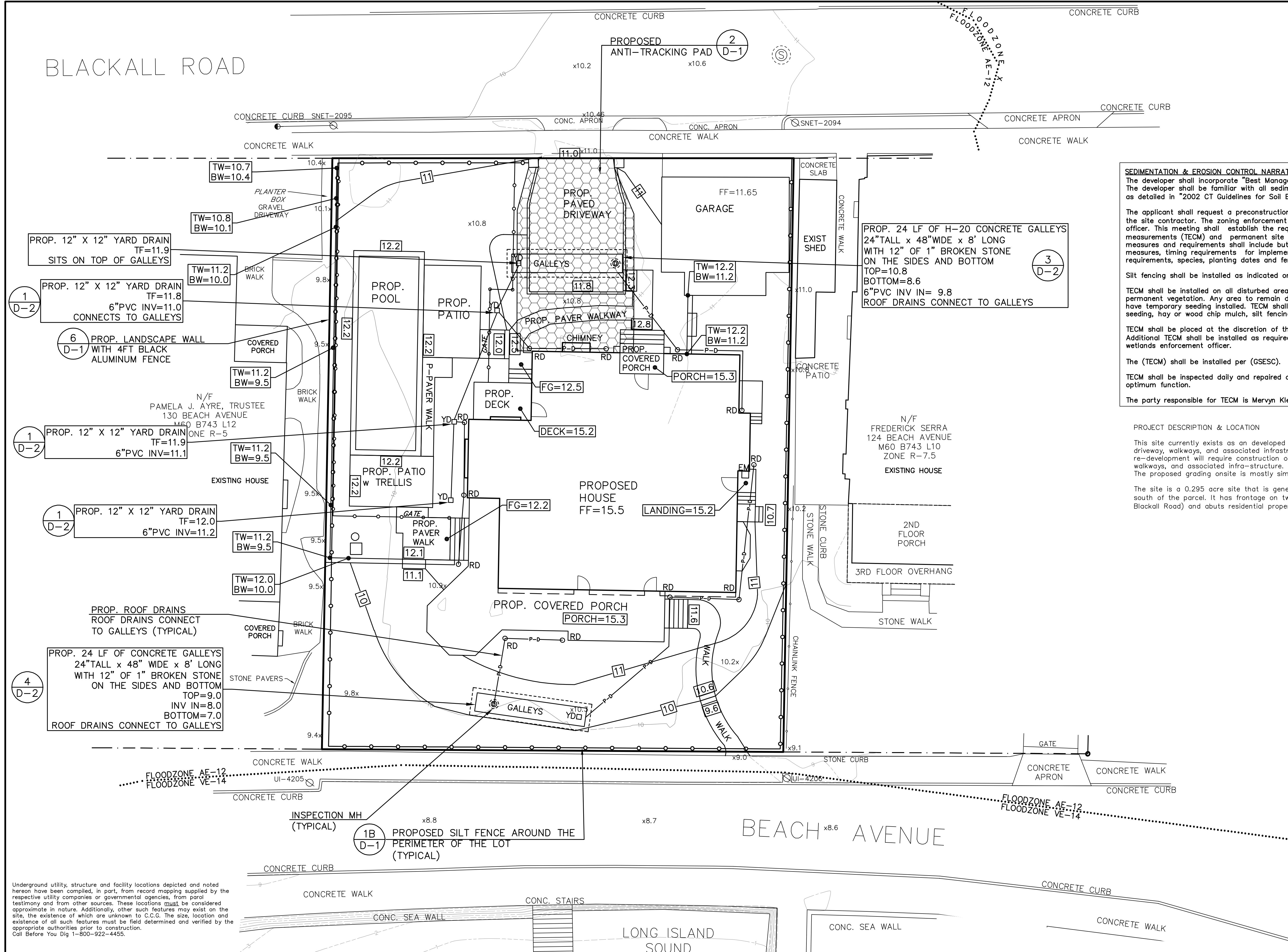
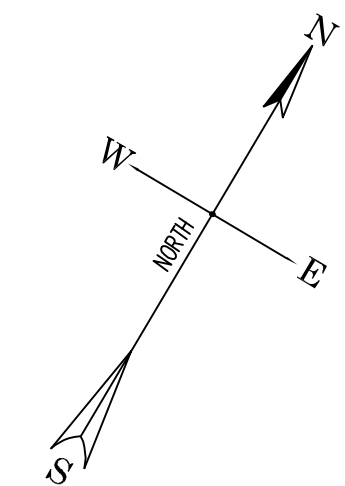


GRADING, DRAINAGE, AND UTILITIES PLAN
 PREPARED FOR
 MERVYN KLEIN
 128 Beach Ave, Milford, Connecticut

GDU-1

DATE: Oct. 5, 2023 FB: 480 TFF: 5 DRAWN BY: LML CHECKED: RWW
 BOX No.: 181 PROJECT No.: 2023-003
 Scale: 1" = 10' 10' 20'
 DWS No.: 2545 SHT 5 of 8

BLACKALL ROAD



SEDIMENTATION & EROSION CONTROL NARRATIVE
 The developer shall incorporate "Best Management Practices". The developer shall be familiar with all sedimentation and erosion control measures as detailed in "2002 CT Guidelines for Soil Erosion and Sediment Control" (GSESC).
 The applicant shall request a preconstruction meeting with the project engineer and the site contractor. The zoning enforcement officer and/or the wetland enforcement officer. This meeting shall establish the requirements for temporary erosion control measures (TECM) and permanent site stabilization requirements. These measures and requirements shall include but not limited to, locations of required measures, timing requirements for implementation, seeding and planting requirements, species, planting dates and fertilizer requirements.
 Silt fencing shall be installed as indicated on this plan.
 TECM shall be installed on all disturbed areas where it is impractical to establish permanent vegetation. Any area to remain disturbed for more than thirty days shall have temporary seeding installed. TECM shall include but not limited to temporary seeding, hay or wood chip mulch, silt fencing, and haybales.
 TECM shall be placed at the discretion of the site contractor. Additional TECM shall be installed as required by zoning enforcement officer and/or wetlands enforcement officer.
 The (TECM) shall be installed per (GSESC).
 TECM shall be inspected daily and repaired or replaced as necessary to ensure optimum function.
 The party responsible for TECM is Mervyn Klein 646-319-9800.

PROJECT DESCRIPTION & LOCATION
 This site currently exists as an developed parcel with a house, a garage, driveway, walkways, and associated infrastructure. The proposed re-development will require construction of one house, a pool, patios, walkways, and associated infra-structure. The existing garage is to remain. The proposed grading onsite is mostly similar to existing grades.
 The site is a 0.295 acre site that is generally flat with a low area to the south of the parcel. It has frontage on two public roads (Beach Ave & Blackall Road) and abuts residential properties to the east and west.

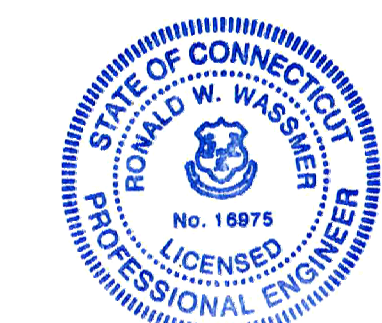
- LEGEND**
- LD LEADER DRAIN
 - ☆ LIGHT POLE
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 - ⊙ PROPOSED CONTOUR (typ.)
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 - ⊙ DEEP TEST PIT
 - ⊙ WELL
 - ⊙ WETLAND FLAG
 - x14.9 EXISTING SPOT GRADE
 - 14.9 PROPOSED SPOT GRADE
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 Ronald W. Wassmer, PE LS CT Lic. No. 16975
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SEDIMENTATION & EROSION CONTROL PLAN
 PREPARED FOR
 MERVYN KLEIN
 128 Beach Ave, Milford, Connecticut

ES-1

DATE: Oct. 5, 2023 FB: 480 TFF: 5 DRAWN BY: LML CHECKED: RWW
 BOX No.: 181 PROJECT No.: 2023-003
 Scale: 1" = 10' 10' 20'
 DWG No.: 2545 SHT 6 of 8

NDS TECHNICAL SPECIFICATIONS
WE PUT WATER IN ITS PLACE

12" x 12" CATCH BASIN

1200BLKIT - Catch basin with 2 openings
1200 - Catch basin with two openings
1203 - Catch basin with 3 openings
1204 - Catch basin with 4 openings

Material: Polypropylene
Colors: Black (1200BLKIT, 1200, 1203, 1204)
Fits: Requires either part # 1206, #1242, # 1243, #1245, #1266, or # 1889 Universal Outlet for each opening. Bottom outlet may be used for additional outlet.

Features to Eliminate Standing Water

- No bottom Option
- 1/2" Drain Holes
- Cut out for Universal Outlet

1
D-2

NDS We put water in its place

NDS, INC.
651 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com

12" SQUARE TAPERED POLYPROPYLENE CATCH BASIN (RISER) W/ U.V. INHIBITORS.

12" SQUARE POLYOLEFIN GRATE W/ U.V. INHIBITORS.

NDS 12" SQUARE TAPERED POLYPROPYLENE CATCH BASIN W/ U.V. INHIBITORS.

DRILL 1/8" HEEP HOLE TYPICAL OF 4 PLACES AT BTM CORNERS.

3/4" GRAVEL BASE 4" TO DEEP BELOW BASIN TO PREVENT STANDING WATER.

SECTION

NOTES:
1. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
2. RISER CAN BE CUT TO ACHIEVE EXACT ELEVATION.
3. DO NOT USE OTHER'S RISERS WITH CATCH BASIN.
4. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
5. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
6. DO NOT SCALE DRAWING.
7. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
8. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

SQUARE CATCH BASIN
12" SQUARE CATCH BASIN WITH RISER INSTALLATION FOR LANDSCAPE APPLICATIONS 1

2
D-2

24" LOW PROFILE HS-20 LEACHING GALLEY

GALLEY DESIGN SPECIFICATIONS CONFORMS TO LATEST: ASTM DESIGNATION C913

NOTES:
1. PIPE INLET AND OUTLET LOCATIONS HAVE POLYLOK II PIPE SEALS. TYPICAL CUSTOM KNOCKOUTS CAN BE CAST ON REQUEST.
2. REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
3. CONCRETE COMPRESSIVE STRENGTH - 4000 PSI AT 28 DAYS.
4. METHOD OF MANUFACTURE: WET CAST.
5. SECTION IS MONOLITHIC.
6. THE GALLEY IS DESIGNED FOR HS-20 LOADING w/18" OF SOIL COVER.

TOP VIEW (ROOF SLAB THICKNESS IS 5")

SIDE VIEW (WALL THICKNESS IS 3") (ROOF THICKNESS IS 5 1/2" @ BEAMS)

END VIEW (END SECTION) (WALL THICKNESS IS 3") (ROOF THICKNESS IS 5 1/2" @ BEAMS)

END VIEW (CENTER SECTION) (WALL THICKNESS IS 3") (ROOF THICKNESS IS 5 1/2" @ BEAMS)

PRODUCT	APPROX WEIGHT
24" GALLEY	3500 LBS.

FLOW LINE (INCHES)	LEACHING CAPACITY (GALLONS)	LEACHING INTRINSIC CAPACITY (GALLONS)
18	6.6	54.4
24	6.6	54.4

UNITED CONCRETE PRODUCTS INC.
173 CHURCH STREET TEL. 800 234-3119 FAX. (203) 265-4941
YALESVILLE, CT 06492 (203) 269-3119

3
D-2

24" LOW PROFILE REGULAR LEACHING GALLEY

GALLEY DESIGN SPECIFICATIONS CONFORMS TO LATEST: ASTM DESIGNATION C913

NOTES:
1. PIPE INLET AND OUTLET LOCATIONS HAVE POLYLOK II PIPE SEALS. TYPICAL CUSTOM KNOCKOUTS CAN BE CAST ON REQUEST.
2. REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
3. CONCRETE COMPRESSIVE STRENGTH - 4000 PSI AT 28 DAYS.
4. METHOD OF MANUFACTURE: WET CAST.
5. SECTION IS MONOLITHIC.

TOP VIEW (ROOF SLAB THICKNESS IS 3")

SIDE VIEW (WALL THICKNESS IS 3") (ROOF THICKNESS IS 3" @ BEAMS)

END VIEW (END SECTION) (WALL THICKNESS IS 3") (ROOF THICKNESS IS 3" @ BEAMS)

END VIEW (CENTER SECTION) (WALL THICKNESS IS 3") (ROOF THICKNESS IS 3" @ BEAMS)

PRODUCT	APPROX WEIGHT
24" GALLEY	2700 LBS.

FLOW LINE (INCHES)	LEACHING CAPACITY (GALLONS)	LEACHING INTRINSIC CAPACITY (GALLONS)
18	6.6	54.4
24	6.6	54.4

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4
D-2

2' X 4' X 8' LEACHING GALLEY DETAIL (N.T.S.)

GENERAL NOTES

END VIEW
NON WOVEN FILTER FABRIC 1.5 OZ./SQ. YD ASTM D 3776
FLUX 100 GAL./FT²/MIN. ASTM D-4491

FINISHED GRADE
4" PIPE OPENING

12" OF 1" BROKEN STONE

18" MIN TO MOTTLING OR RESTRICTIVE LAYER

12" OF 1" BROKEN STONE

48" MIN TO LEDGE AND 18" MIN TO MAX GROUNDWATER

SIDE VIEW
FINISHED GRADE
INSPECTION HATCH

6" TOPSOIL

9" x 15" x 24"

5" x 96"

5
D-2

RESIDENTIAL SANITARY SEWER CONNECTIONS CURB CONNECTION INSPECTION FACILITY

A CONDITION OF ALL SEWER PERMITS FOR INSTALLING RESIDENTIAL SEWER CONNECTIONS IS THE REQUIREMENT TO FURNISH AND INSTALL A SEWER INSPECTION RISER IN THAT AREA OF THE STREET RIGHT-OF-WAY BETWEEN THE CURB AND THE STREETLINE (FRONT PROPERTY LINE). THE INSPECTION RISER IS TO CONSIST OF A 451 WVC FITTING INSTALLED ON THE HOUSE CONNECTION SEWER APPROXIMATELY 4 FEET BEHIND THE STANDARD CURB LOCATION*. A 6" PVC INSPECTION RISER PIPE IS TO BE INSTALLED TO WITHIN 12" OF THE FINISHED GROUND SURFACE AND FITTED WITH A WATERTIGHT PLUG. A 6" X 6" X 1/8" STEEL PLATE IS TO BE PLACED ABOVE THE END OF THE INSPECTION RISER WHEN BACKFILLING THE AREA TO GRADE TO ASSIST WITH FUTURE RECOVERY OF THE INSPECTION RISER BY MEANS OF A MAGNETIC DETECTOR.

*IN A SEWER EASEMENT THE INSPECTION RISER IS TO BE AT THE EDGE OF THE EASEMENT.

*IN LOCATIONS WHERE AN EXISTING LATERAL EXTENDS TO THE STREET LINE, THE "T" CONNECTION SHALL BE PLACED AS CLOSE TO THE STREET LINE AS POSSIBLE, WITH THE INSPECTION RISER EXTENDING TO WITHIN 12" OF GRADE AND LOCATED ON PRIVATE PROPERTY.

ADJUST FRAME AND COVER TO GRADE WITH BRICK COURSES (3 MAX)

LOOSE FITTING PVC CAP

12" CL. MANHOLE FRAME AND COVER #20 TRAFFIC LOADING (RATED) CAMPBELL SQUARE FLANGE PATTERN #1050

FINISHED GRADE - BIT. DRIVE

REMOVABLE WATER TIGHT WING PLUG

6" PVC PIPE ASTM D3034 SDR 35

SOLID 8" X 8" X 1/8" CONC. BLOCK AND MORTAR RISER AND BEARING SURFACE

6" PVC INSPECTION RISER

COMPACTED 3/4" PROCESSED STONE BACKFILL (TYP.)

FLOW TO SEWER

6" (MIN.)

1/4" FT. (MIN.)

FLOW FROM HOUSE

INSPECTION RISER DETAIL N.T.S.

INFORMATION SHOWN ON THIS DETAIL WAS PREPARED FOR USE BY THE CITY OF MILFORD. THE CITY OF MILFORD IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DETAIL. THE USER OF THIS DETAIL SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION SHOWN ON THIS DETAIL. THE USER OF THIS DETAIL SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MILFORD. THE USER OF THIS DETAIL SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MILFORD.

CITY OF MILFORD DEPT. OF PUBLIC WORKS ENGINEERING BUREAU
JOHN R. GRAY, P.E., L.S. CITY ENGINEER

6
D-2

To my knowledge and belief, this map is substantially correct as noted hereon.

Date Oct. 5, 2023 By *Ronald W. Wassmer*
Ronald W. Wassmer, PE LS CT Lic. No. 16975

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7
D-2

Planning and Zoning Office
Received
11/07/2023

STATE OF CONNECTICUT
PROFESSORIAL ENGINEER
No. 19975

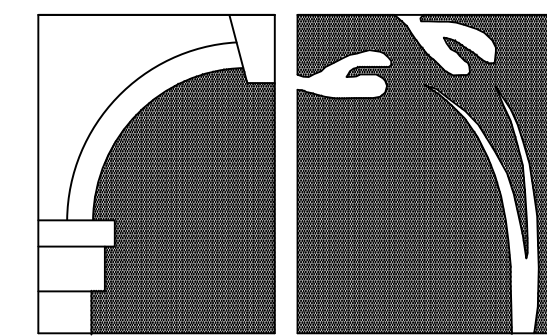
DETAILS
PREPARED FOR
MERVYN KLEIN
128 Beach Ave, Milford, Connecticut

D-2

DATE: Oct. 5, 2023	FB: 480	TFF: 5	DRAWN BY: LML	CHECKED: RWW
Scale: NOT TO SCALE	BOX No.: 181	PROJECT No.: 2023-003		
			DWG No.: 2545	SHT 8 of 8

P:\Land Projects\2023-003 Klein 128 Beach Avenue\dwg\Issue Klein 128 Beach Ave ver2023-05-05.dwg, DETAILS (2), 10/5/2023 9:54:52 AM, 1:1

C.C.G. CT CIVIL GROUP, LLC
Civil + Structural Engineering - Land Surveying
Designers + Planners
158 RESEARCH DRIVE, MILFORD, CT 06460
(203) 874-8316 info@ctcivilgroup.com



**PETER B. COOPER
& ASSOCIATES**

ARCHITECTS & LANDSCAPE ARCHITECTS
14 OVERBROOK RD. RAMSEY, NJ 07446
TEL: 201-512-1146 FAX: 201-783-8299
PETER@PETERCOOPERARCHITECTS.COM

PROJECT DESCRIPTION:

THIS PROJECT:

PROPRIETARY NOTE:
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PROJECT:

**MERVYN & FAYE
KLEIN
RESIDENCE**

128 BEACH AVE
MILFORD, CT 06460

NO.	DATE	REVISION

ISSUED: 10-4-23

ISSUED FOR PERMIT:

DRAWN BY: PBC

CHECKED BY: PBC

SCALE: AS NOTED

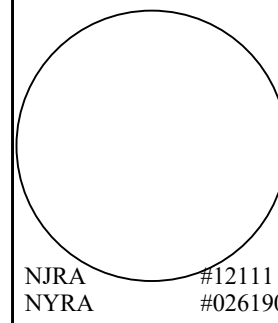
PROJECT #: 22-21

DRAWING:

FIRST FLOOR PLAN

**PETER B. COOPER
ARCHITECT**

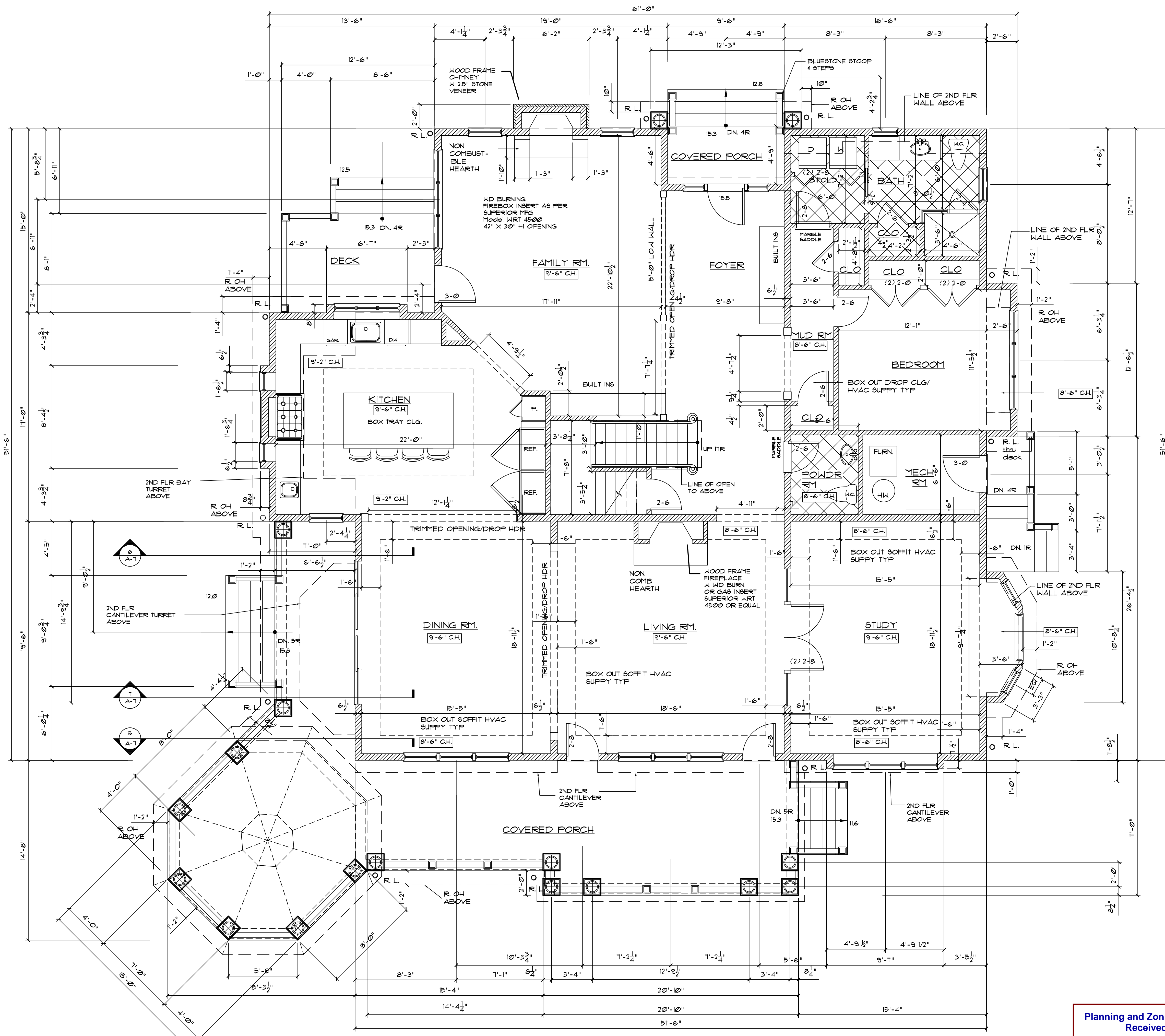
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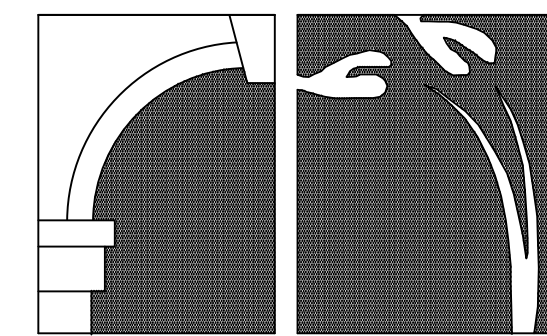
NJRA
NYRA

#12111
#026190

A-1



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



**PETER B. COOPER
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KLEIN
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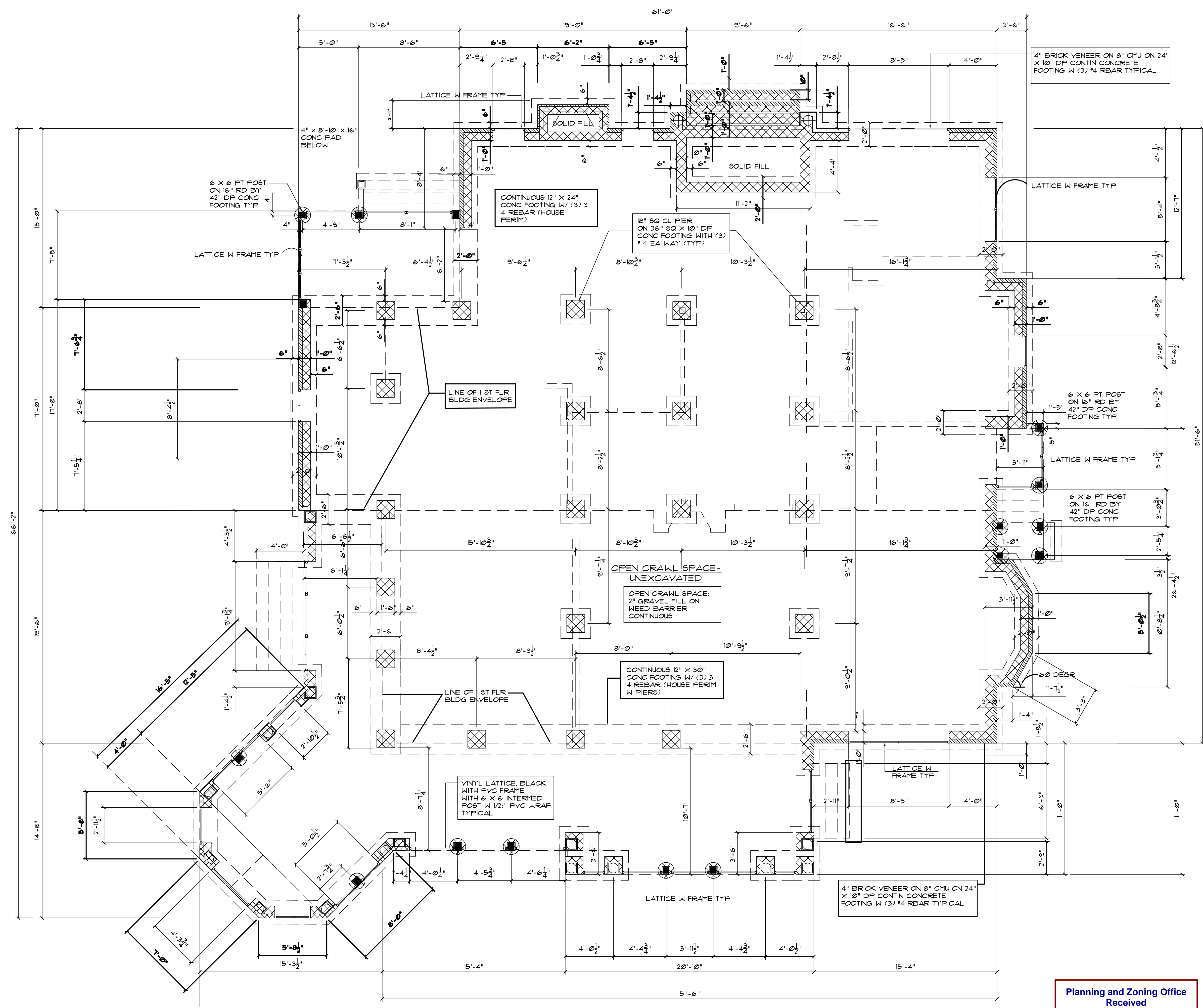
ISSUED: 10-4-23
ISSUED FOR PERMIT:
DRAWN BY:
CHECKED BY: PBC
SCALE: AS NOTED
PROJECT #: 22-21
DRAWING:

FOUNDATION PLAN

**PETER B. COOPER
ARCHITECT**

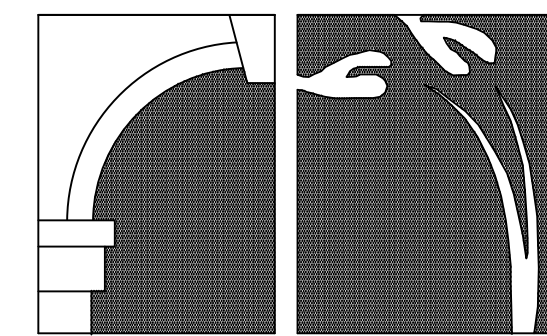
A-3

NJRA #12111
 NYRA #026190



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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PROJECT:
**MERVYN & FAYE
KLEIN
RESIDENCE**

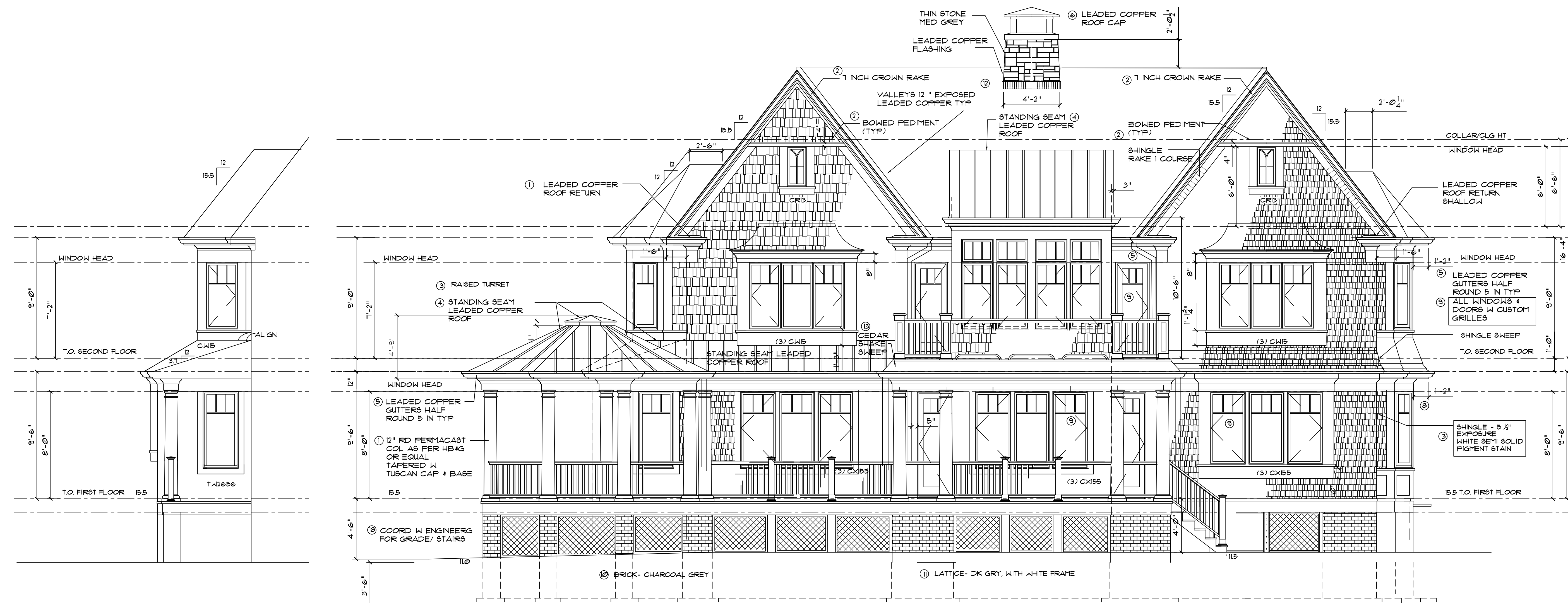
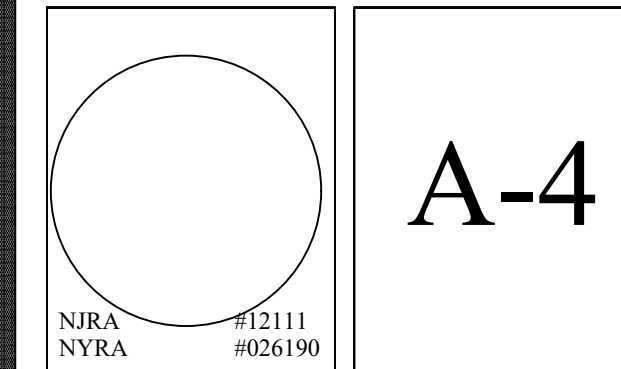
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NO.	DATE	REVISION

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CHECKED BY: PBC
SCALE: AS NOTED
PROJECT #: 22-21
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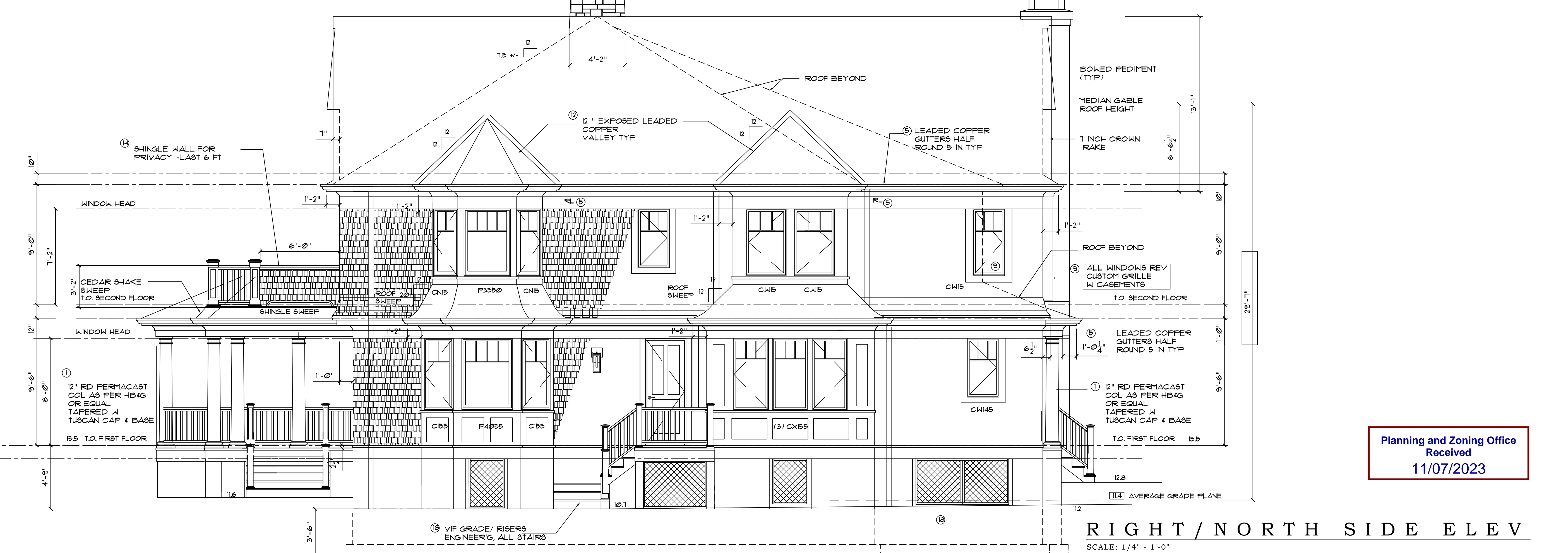
**FRONT/ BEACH & RIGHT
SIDE ELEVATIONS**

**PETER B. COOPER
ARCHITECT**



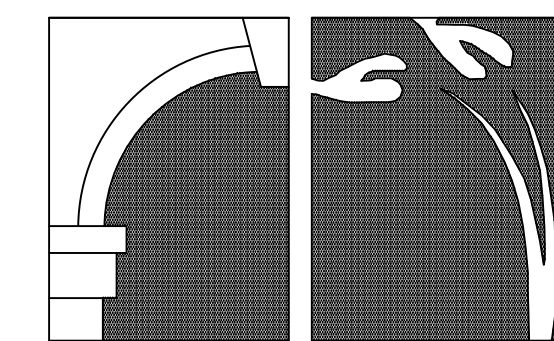
PART FRONT ELEV
SCALE: 1/4" - 1'-0" (AT LEFT SIDE PORCH)

FRONT / BEACH ELEVATION
SCALE: 1/4" - 1'-0"



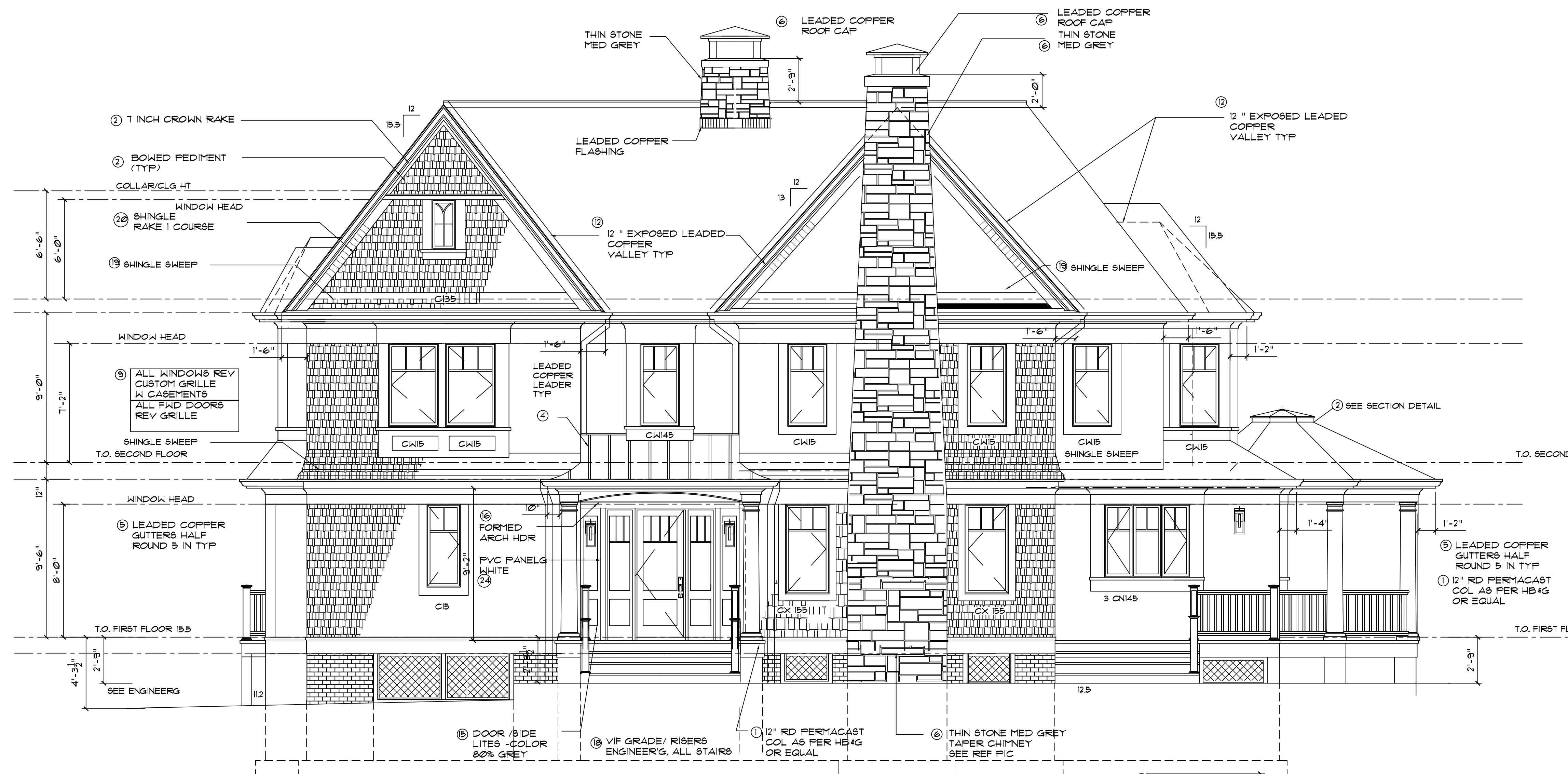
RIGHT / NORTH SIDE ELEV
SCALE: 1/4" - 1'-0"

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11/07/2023



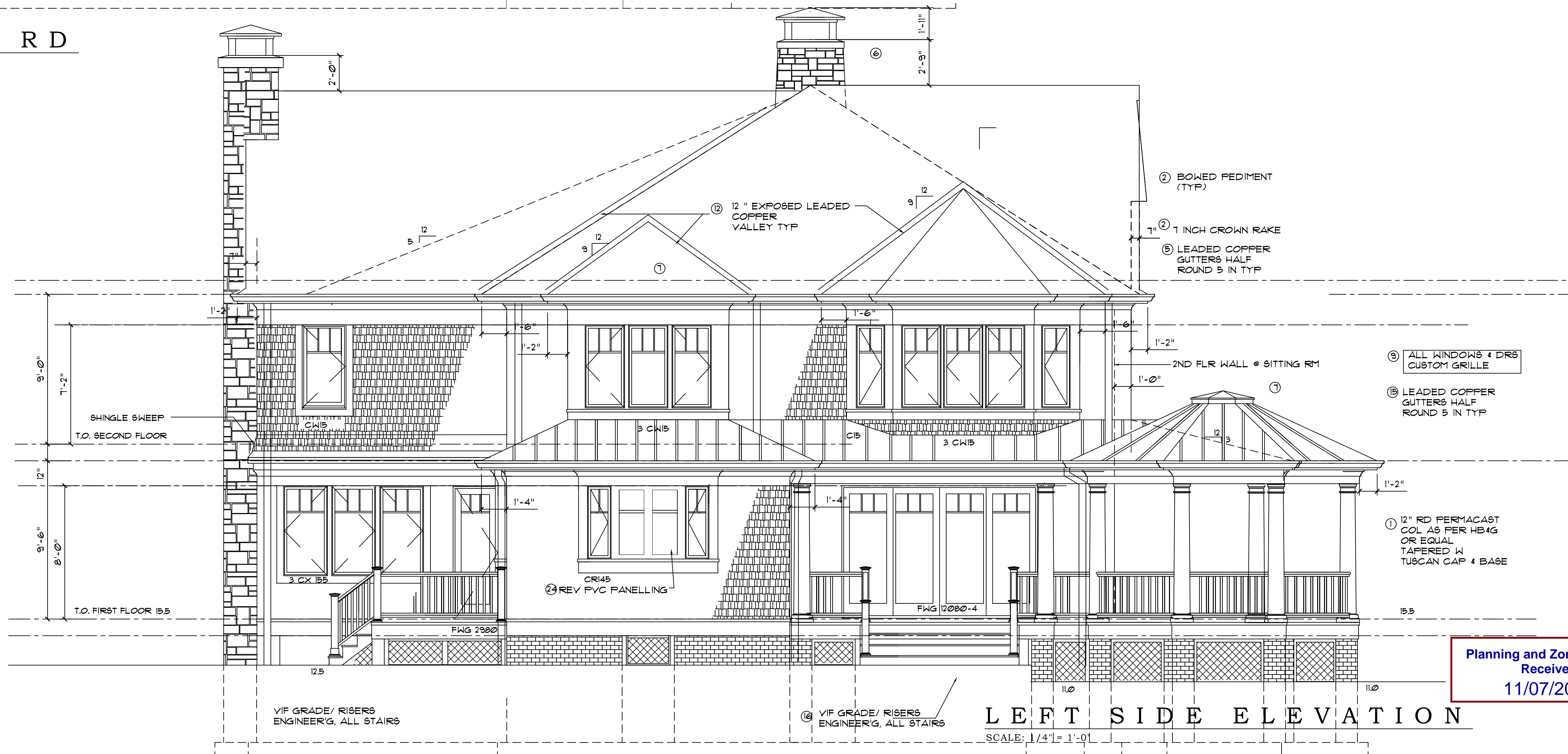
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 PETER@PETERCOOPERARCHITECTS.COM



REAR / BLACKALL RD ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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PROJECT:
MERVYN & FAYE KLEIN RESIDENCE
 128 BEACH AVE
 MILFORD, CT 06460

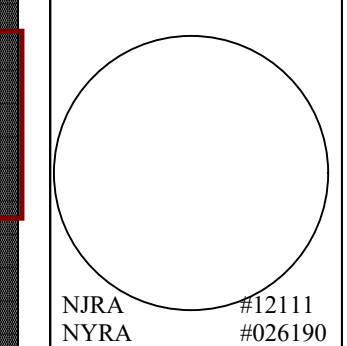
NO.	DATE	REVISION

ISSUED: 10-4-23
ISSUED FOR PERMIT:
DRAWN BY:
CHECKED BY: PBC
SCALE: AS NOTED
PROJECT #: 22-21
DRAWING:

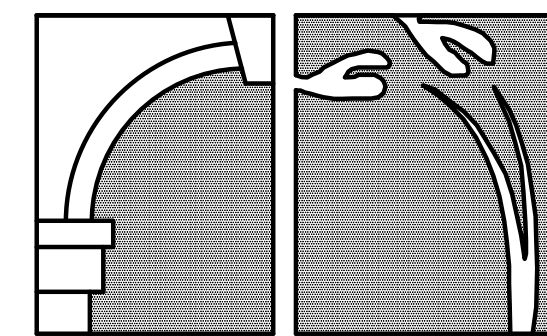
REAR & LEFT SIDE ELEVATION

PETER B. COOPER ARCHITECT

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A-5



**PETER B. COOPER
& ASSOCIATES**

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TEL: 201-512-1146 FAX: 201-783-8299
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PROJECT:
**MERVYN & FAYE
KLEIN
RESIDENCE**

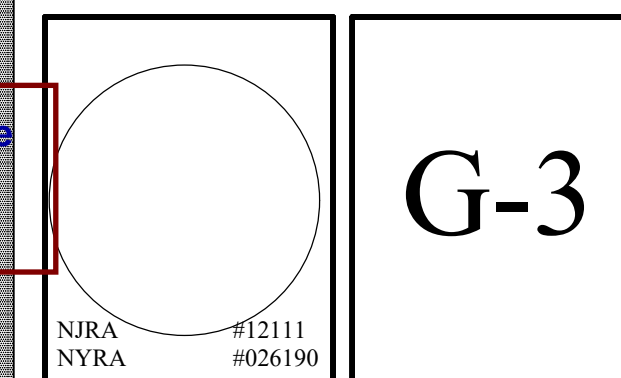
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NO.	DATE	REVISION

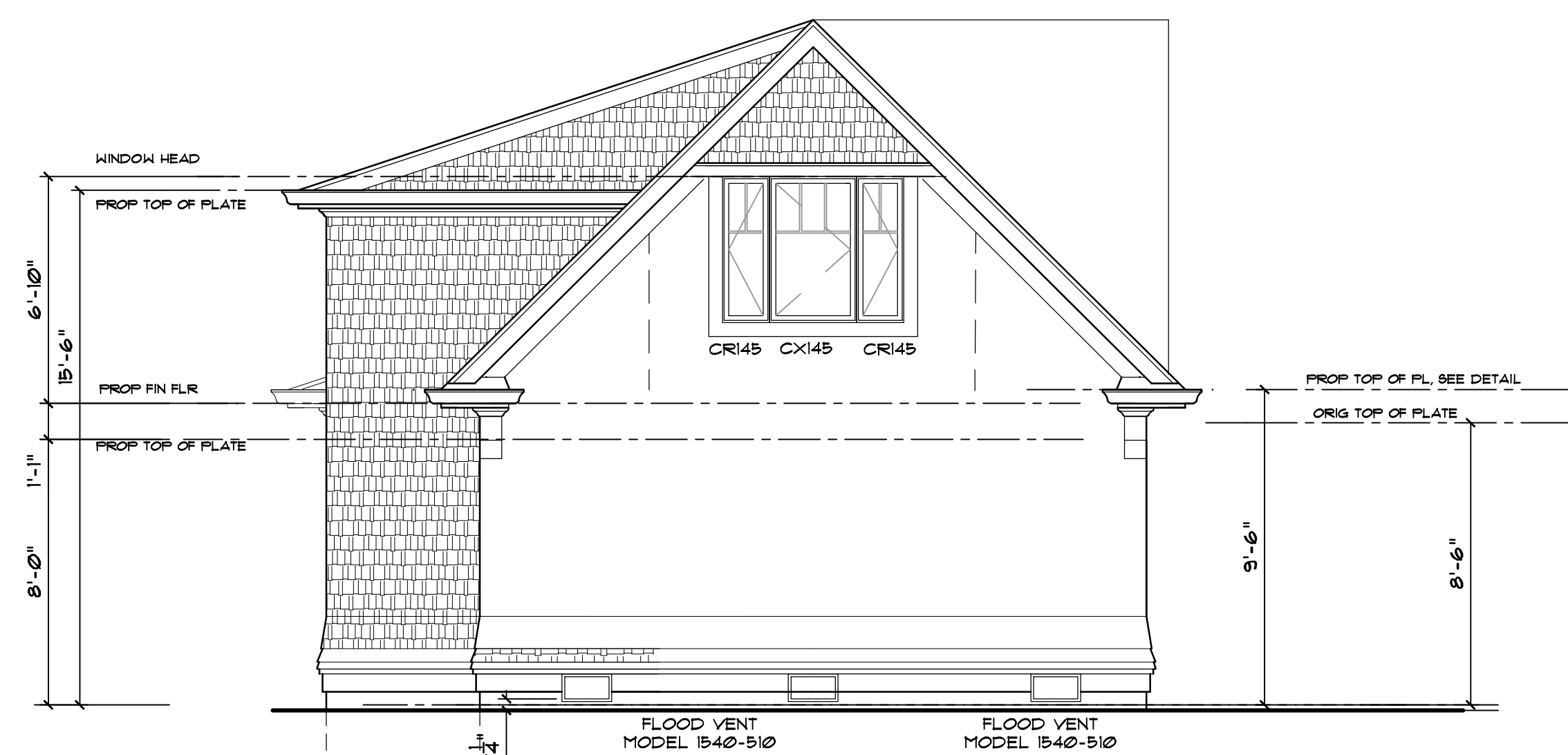
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CHECKED BY: PBC
SCALE: AS NOTED
PROJECT #: 22-21
DRAWING:

**GARAGE LEFT & REAR
ELEVATIONS, SECTION**

**PETER B. COOPER
ARCHITECT**

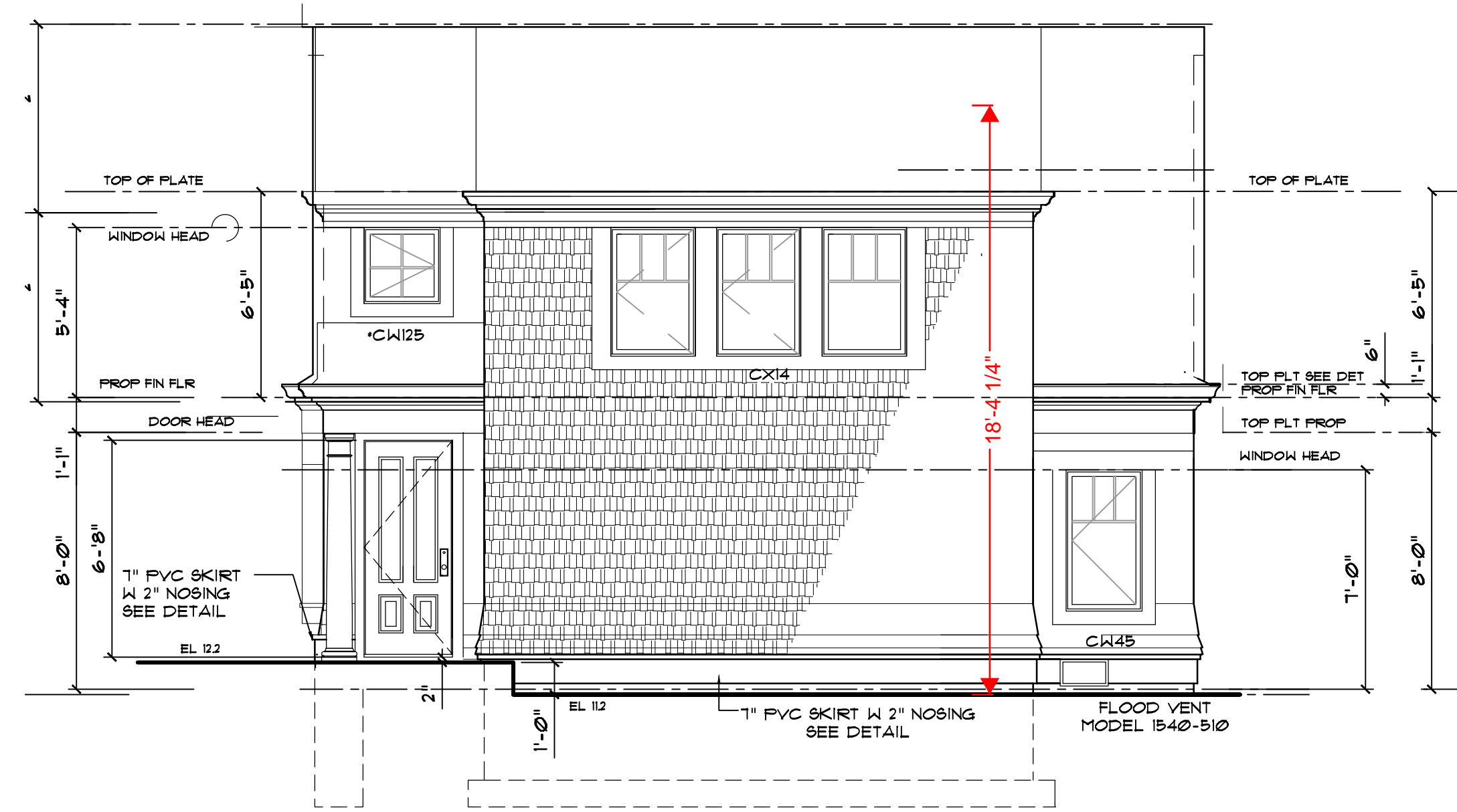


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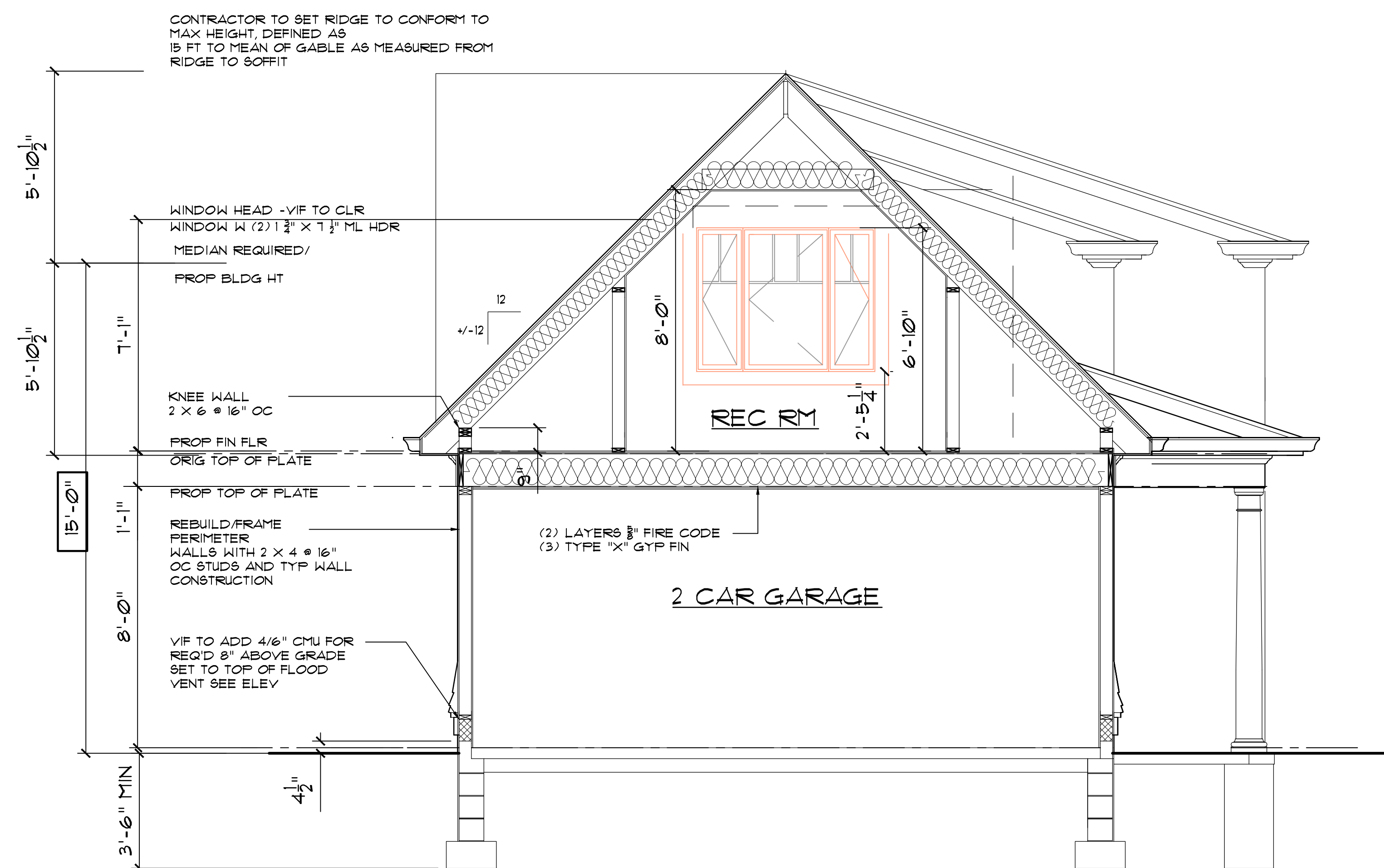
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



SECTION

SCALE: 3/8" = 1'-0"