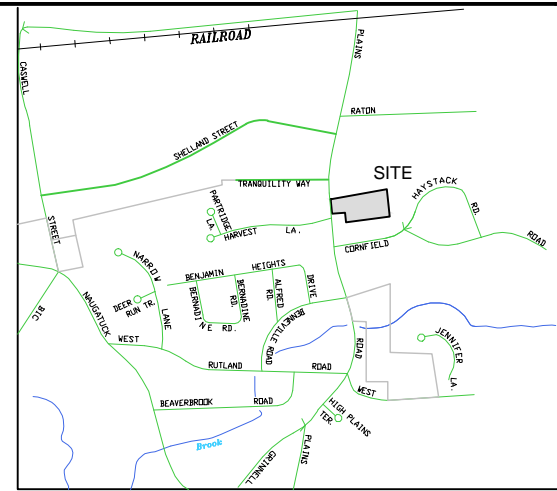
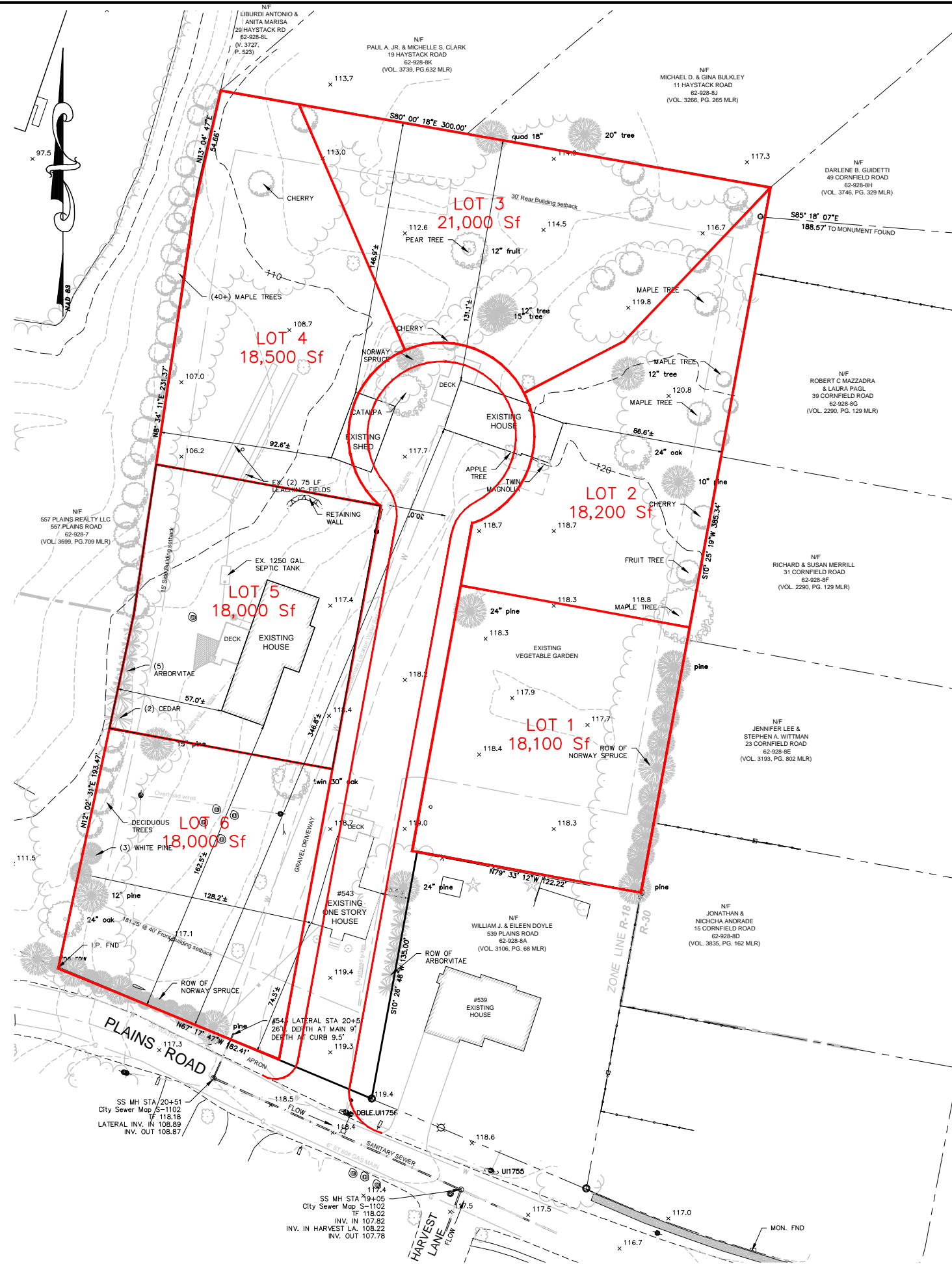


**Received DPLU**  
11/20/21



**MINIMUM LOT AND BUILDING REQUIREMENTS**

ZONING DATA R-18	REQUIRED	EXISTING
§3.1.4.1.	#335-543	#335-543
TOTAL SITE AREA	18,000 Sq.Ft.	135,170 Sq.Ft.
LOT WIDTH	100'	181.25'
LOT DEPTH	125'	499.92'
FRONT YARD SETBACK	40'	74.5'±
SIDE YARD	15'	57.0'/15.4'±
REAR YARD	30'	131.1'±
ACCESSORY STRUCTURES:		
SIDE YARD	10'	92.6'±
REAR YARD	10'	146.9'±
DIST. FROM DWELLING	8'	28.7'±
MAX. HEIGHT	15'	
MAXIMUM PERMITTED:		
BUILDING (Stories/Height)	3/35'	2
BUILDING AREA AS % OF LOT	25%	4.3% (5,809 sf)
LOT COVERAGE (max)	40%	5.0% (6,806 sf)
PROJECTION INTO REQ. YARDS	20% or <4'	

**SCHEMATIC LOT LAYOUT FOR CLUSTER LOT COUNT DETERMINATION PER §5.9.3.1(5) LOTS WHICH COULD BE REASONABLY BE DEVELOPED CONVENTIONALLY**

LOT 1- 18,100 Sf  
 LOT 2- 18,200 Sf  
 LOT 3- 21,000 Sf  
 LOT 4- 18,500 Sf  
 LOT 5- 18,000 Sf  
 LOT 6- 18,000 Sf

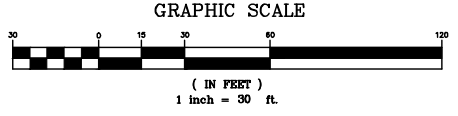
OWNER OF RECORD: NICHOLAS MARLOW & DANIEL THORNBERG  
 535-543 PLAINS ROAD  
 MILFORD, CT. 06461  
 (VOL. 3923, PG. 89-91 MLR)

TOTAL PARCEL AREA: 135,170 SQ.FT.±  
 3.10 AC.±

ASSESSORS MAP 62, BLOCK 928, LOT 8.  
 PARCEL IS IN ZONE: R-18

**LEGEND OF SYMBOLS**

- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING CATCH BASIN
- ⊙ FLAT TOP CB
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- EXISTING UTTER LINE
- EASEMENT LINE
- CHAIN LINK FENCE
- ⊙ UTILITY POLE
- ⊙ GUY ANCHOR
- ⊙ WATER METER / VALVE
- ⊙ BOULDER
- ⊙ MONUMENT FOUND
- ⊙ EXISTING LAMP POST
- ⊙ HYDRANT
- ⊙ WATER SHUT OFF
- ⊙ IRON PIPE/REBAR
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND WATER
- UNDERGROUND GAS
- UNDERGROUND FOOTING DRAIN
- UNDERGROUND SANITARY LATERAL
- ⊙ EXISTING TREE
- ⊙ SPOT ELEVATION
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE



REVISIONS

NO.	DATE	DESCRIPTION

**CODESPOT & ASSOCIATES P.C.**  
 263 BOSTON POST ROAD, SUITE 5  
 ORANGE, CONNECTICUT 06477  
 TEL: 203-799-2010  
 FAX: 203-799-2010

ZONING LOCATION SURVEY  
**535-543 PLAINS ROAD**  
 Prepared For  
**NICHOLAS MARLOW & DANIEL THORNBERG**  
 MILFORD, CONNECTICUT

CONVENTIONAL SUBDIVISION SCHEMATIC

DWG #	CHECKED
D4466	CONNECTICUT
CAD FILE	CAD VER
4478	C302014
DATE	04/12/21
SCALE	1" = 30'
JOB NO.	4478
SHEET	

EC

# PROPOSED SITE DEVELOPMENT PLANS

**Received DPLU**  
2/1/22

# HIGHLAND ESTATES

## #535-543 PLAINS ROAD MILFORD, CONNECTICUT

**ZONE: R-18**

**TAX ASSESSORS MAP 62, BLOCK 928, LOT 8**

**AGENCY SUBMISSION DRAWINGS**

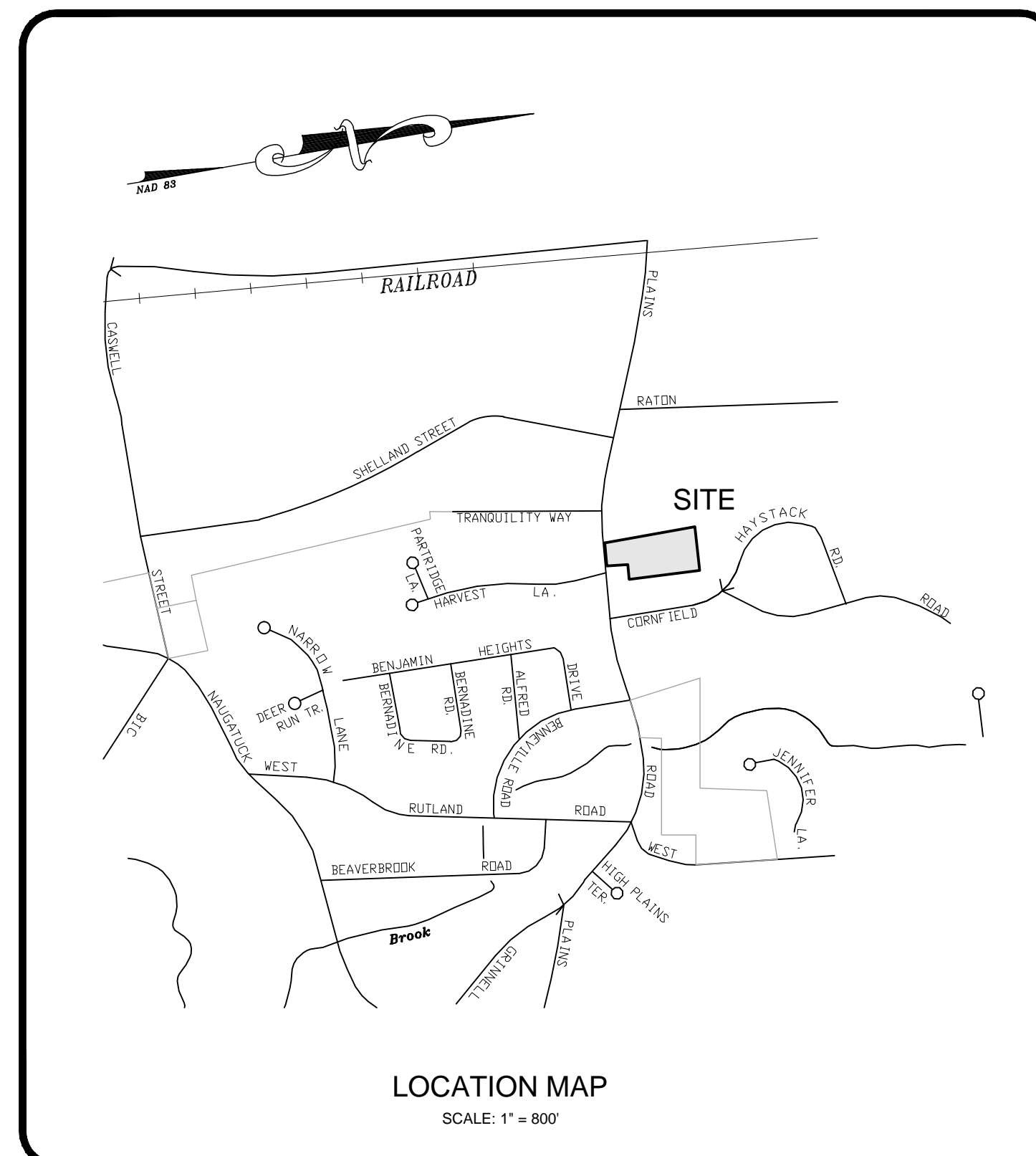
**DATE: SEPTEMBER 29, 2021**

**Last Revised: January 27, 2022**

### LIST OF DRAWINGS

SITE PLANS;	DATE;	REVISED;
EC EXISTING CONDITIONS/SURVEY	04/12/21	01/27/22
DEM DEMOLITION PLAN	09/29/21	
SP1 RECORD SUBDIVISION MAP	09/29/21	
SP2 SITE PLAN	09/29/21	
SP3 SITE GRADING/UTILITY PLAN	09/29/21	01/19/22
SP4 SOIL EROSION & SEDIMENT CONTROL PLAN	09/29/21	01/19/22
SP5 LANDSCAPE PLAN	09/29/21	01/27/22
SP6 PLAN AND PROFILE	09/29/21	
SP7 SIGHTLINE PLAN & PROFILE	09/29/21	
SP8 EROSION & LANDSCAPE DETAILS	09/29/21	
SP9 SEWER AND STORM DETAILS	09/29/21	
SP10 LIGHTING PLAN	09/29/21	

### LOCATION PLAN



### OWNER/DEVELOPER:

**NICHOLAS MARLOW & DANIEL THORNBERG**  
**535-543 PLAINS ROAD**  
**MILFORD, CONNECTICUT 06460**  
**TEL. (203) 306-7818**

### PROJECT PLANNING & DESIGN

**CODESPOTI** SITE PLANNING  
 & ASSOCIATES, P.C. LANDSCAPE ARCHITECTURE  
 ENGINEERING  
 LAND SURVEYING

263 BOSTON POST ROAD SUITE#5  
 ORANGE, CONNECTICUT  
 06477 203-799-1400



**MAP REFERENCES:**

- "CORNFIELD FARMS SUBDIVISION" 1" = 60' 3/30/78 LAST REV. 11/1/78 BY BERNARD GODFREY. MTC MAP NO. AB1247.
- "SURVEY MAP OF KUCHMA PROPERTY IN MILFORD, CT." 1" = 60' 8/4/71 BY A.J. FLANAGAN JR.
- DIVISION OF LAND OF THE ESTATE OF MARY MCANDREW 543 PLAINS ROAD MILFORD, CT." 02/24/00 BY CODESPOTI & ASSOCIATES. MAP AB2601 MLR.
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- TOPOGRAPHICAL SURVEY OF 535-543 PLAINS ROAD MILFORD, CT." 1" = 40' FLOWN 01/17/20 BY GOLDEN AERIAL SURVEYS, INC.

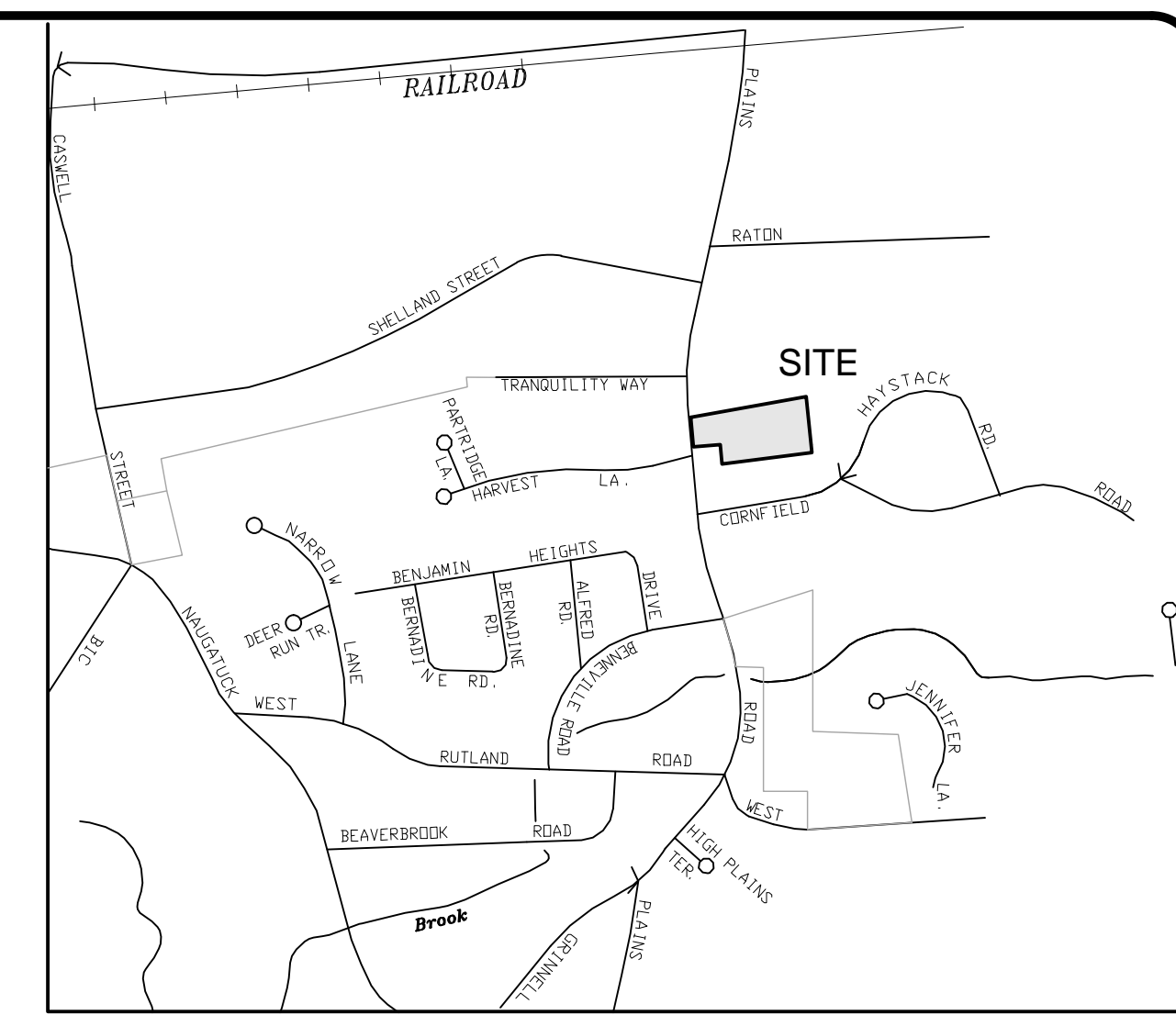
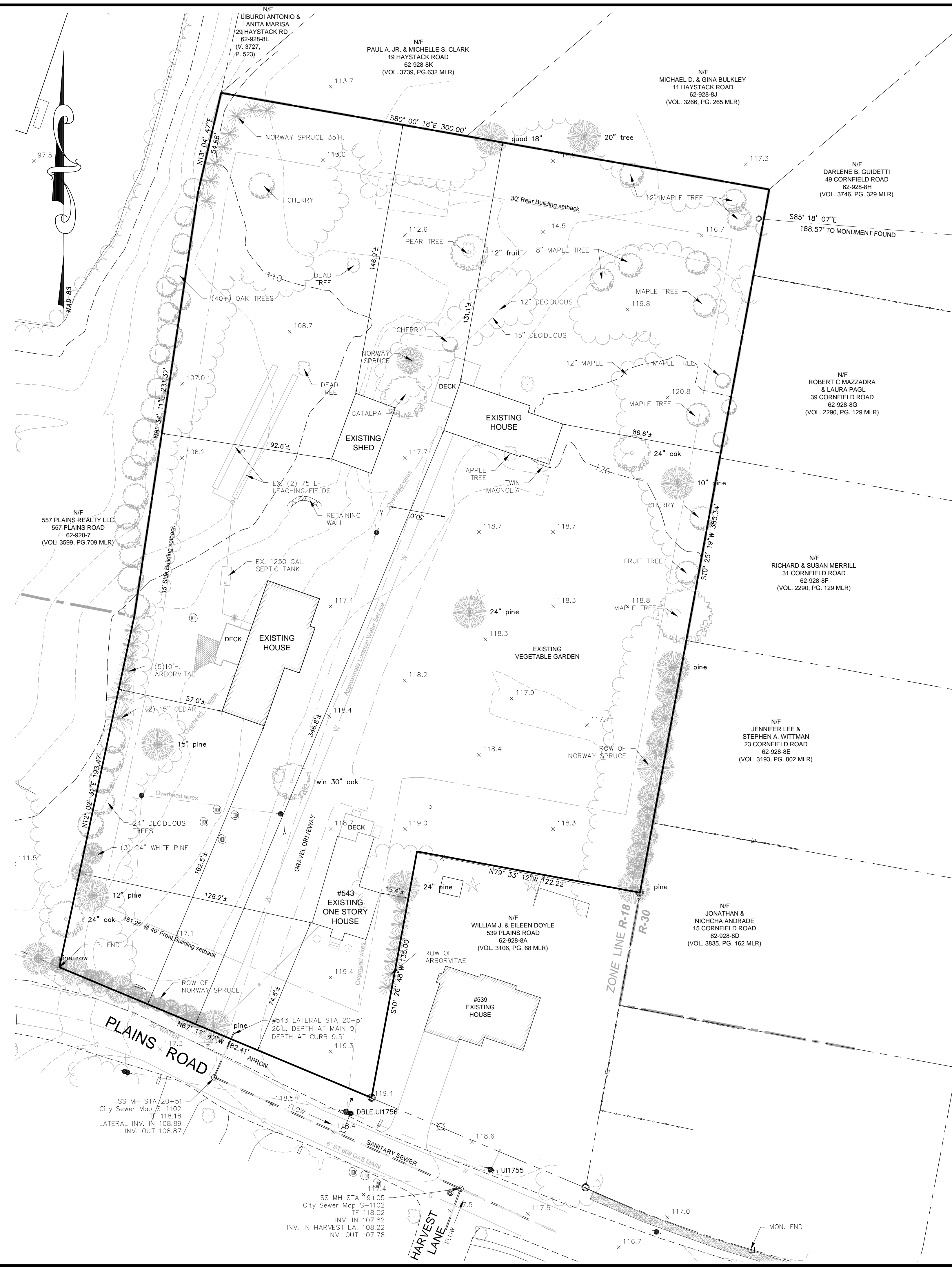
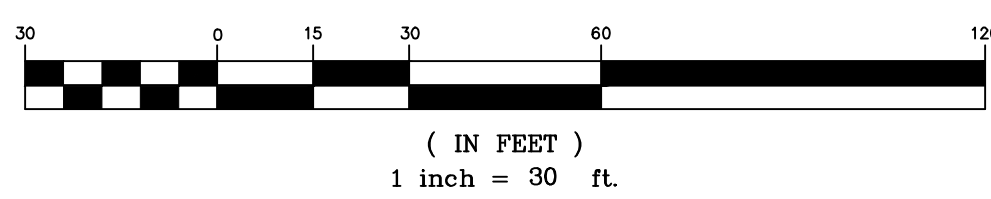
**NOTES:**

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- THE SUBJECT PARCEL APPEARS TO LIE WITHIN FLOOD ZONE "X" AS DEPICTED ON FEMA'S FLOOD INSURANCE RATE MAP (FIRM), ENTITLED NEW HAVEN COUNTY, CONNECTICUT (ALL JURISDICTIONS); PANEL NO. 526 OF 635. MAP NO. 09090C0526J EFFECTIVE JULY 8, 2013 1"-500'. ANY FEMA FLOODPLAIN AND/OR FLOODWAY INFORMATION BY CODESPOTI & ASSOCIATES P.C. DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION, AND MAKES NO REPRESENTATIONS UPON WHICH THE CLIENT SHOULD RELY IN CONNECTION WITH THE FLOOD ZONE OF THE SUBJECT PARCEL OR ANY FEMA FLOODPLAIN AND/OR FLOODWAY INFORMATION DEPICTED HEREON.
- PLANIMETRICS AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GOLDEN AERIAL SURVEYS PHOTOGRAMMETRY, FLOWN 01/17/20 AND FIELD SURVEY BY CODESPOTI & ASSOCIATES COMPLETED DURING APRIL 2021.
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**LEGEND OF SYMBOLS**

- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING CATCH BASIN
- FLAT TOP CB
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- EXISTING GUTTER LINE
- EASEMENT LINE
- CHAIN LINK FENCE
- UTILITY POLE
- GUY ANCHOR
- WATER METER / VALVE
- BOULDER
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- WATER SHUT OFF
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- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND WATER
- UNDERGROUND GAS
- UNDERGROUND FOOTING DRAIN
- UNDERGROUND SANITARY LATERAL
- EXISTING TREE
- SPOT ELEVATION
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE

**GRAPHIC SCALE**



**LOCATION MAP**

SCALE: 1" = 800'

MINIMUM LOT AND BUILDING REQUIREMENTS		
ZONING DATA R-18	REQUIRED	EXISTING
§31.4.1.		535-543
TOTAL SITE AREA	18,000 Sq.Ft.	135,170 Sq.Ft.
LOT WIDTH	100'	181.25'
LOT DEPTH	125'	499.92'
FRONT YARD SETBACK	40'	74.5'±
SIDE YARD	15'	57.0'/15.4'±
REAR YARD	30'	131.1'±
ACCESSORY STRUCTURES:		
SIDE YARD	10'	92.6'±
REAR YARD	10'	148.9'±
DIST. FROM DWELLING	8'	28.7'±
MAX. HEIGHT	15'	
MAXIMUM PERMITTED:		
BUILDING (Stories/Height)	3/35'	2
BUILDING AREA AS % OF LOT	25%	4.3% (5,809 sf)
LOT COVERAGE (max)	40%	5.0% (6,806 sf)
PROJECTION INTO REQ. YARDS	20% or <4'	

ALL ZONING DATA SUBJECT TO VERIFICATION BY CITY

OWNER OF RECORD: NICHOLAS MARLOW & DANIEL THORNBURG  
 535-543 PLAINS ROAD  
 MILFORD, CT. 06461  
 (VOL. 3923, PG. 89-91 MLR)  
 TOTAL PARCEL AREA: 135,170 SQ.FT.±  
 3.10 AC.±  
 ASSESSORS MAP 62, BLOCK 928, LOT 8.  
 PARCEL IS IN ZONE: R-18

THIS MAP IS VALID AND AUTHORIZED BY THE BELOW SIGNATORY WHEN AND ONLY WHEN ACCOMPANIED WITH A RED LIVE SIGNATURE, A STAMPED SEAL IN BLUE INK AND A LIVE EMBOSSED SEAL OVER THE SIGNATURE'S NAME. ANY OTHER REPRODUCTIONS SHALL BE CONSIDERED UNAUTHORIZED.

- NOTES:
- THIS MAP AND SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE JUNE 21, 1996, AMENDED OCTOBER 26, 2018. ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
    - THE HORIZONTAL ACCURACY CONFORMS TO CLASS "A-2". TOPOGRAPHY CONFORMS TO CLASS "T-3" STANDARDS (SEE MAP REFERENCE 5)
    - THE BOUNDARY DETERMINATION CATEGORY IS A "RESURVEY"
    - THE TYPE OF SURVEY IS A "PROPERTY SURVEY"
- TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

JOSEPH M. CODESPOTI DATE \_\_\_\_\_ L.S.#70177  
 THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL.

BY: NW

REVISIONS: 01/27/22 ENHANCED TREE LOCATIONS BY ARBORIST ADDED PER CITY PLANNER REQUEST

USE PLANNING PROFESSIONAL ENGINEERING SURVEYING

**CODESPOTI & ASSOCIATES P.C.**

263 BOSTON POST ROAD, SUITE 5  
 ORANGE, CONNECTICUT 06477  
 TEL: 203-799-4011 FAX: 203-799-4011

ZONING LOCATION SURVEY

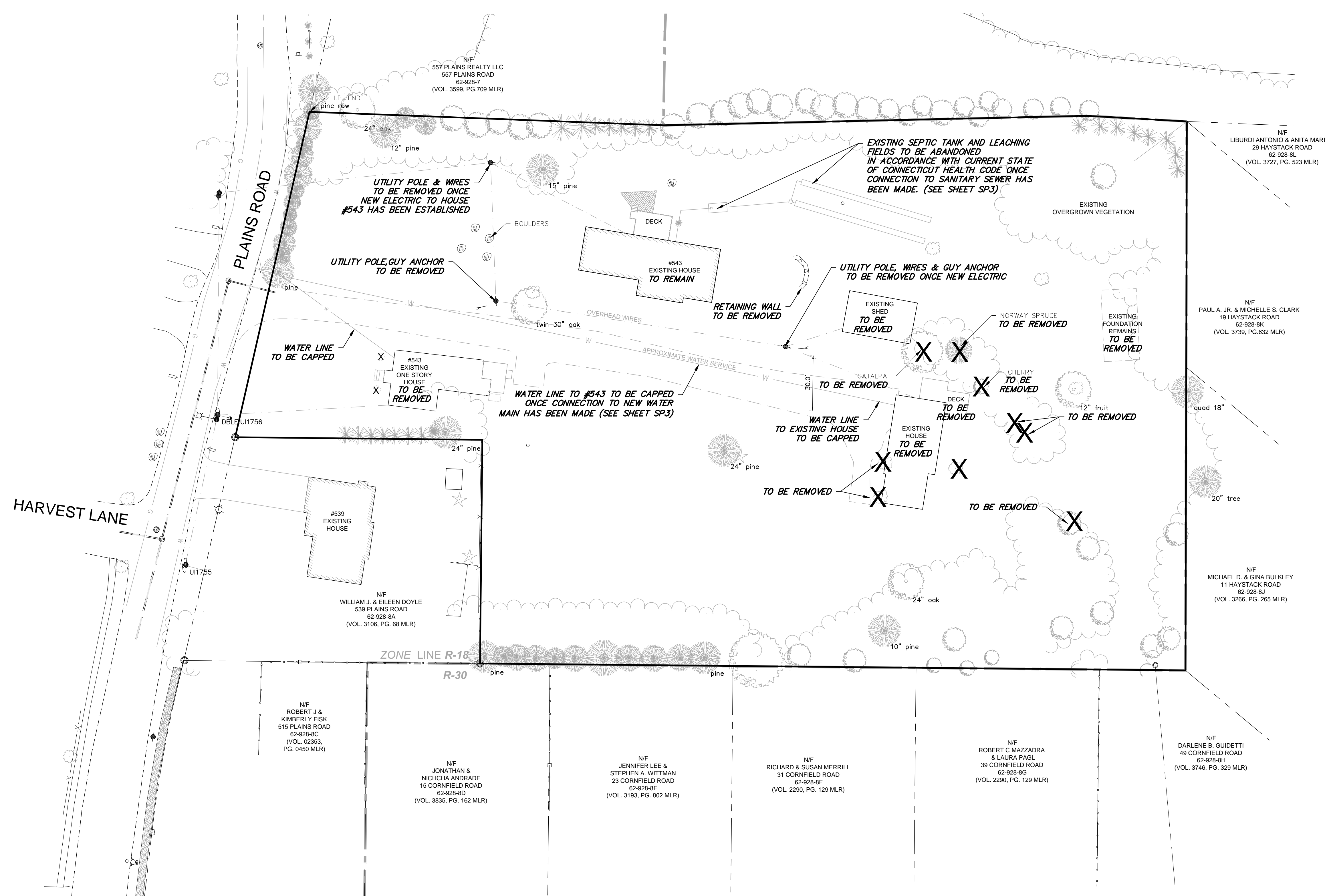
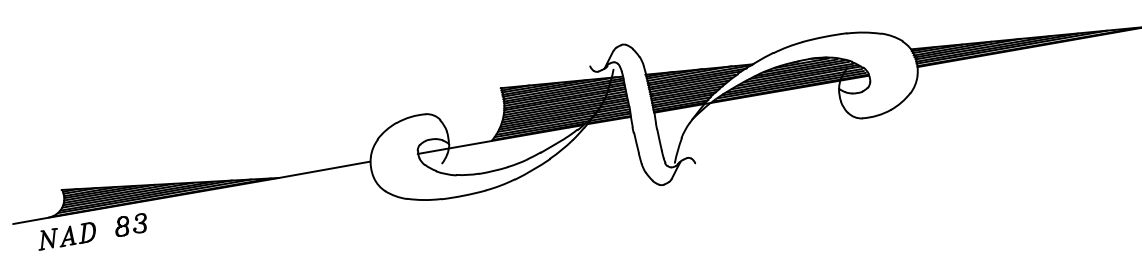
**535-543 PLAINS ROAD**

Prepared For  
**NICHOLAS MARLOW & DANIEL THORNBURG**  
 CONNECTICUT

**EXISTING CONDITIONS**

DWG #	CHECKED
D4466	D4466
CAD FILE	CAD VER
4478	C302014
DATE	
04/12/21	
SCALE	
1" = 30'	
JOB NO.	
4478	
SHEET	
<b>EC</b>	

THIS MAP IS A COPYRIGHTED WORK OF CODESPOTI & ASSOCIATES, P.C. ALL RIGHTS RESERVED



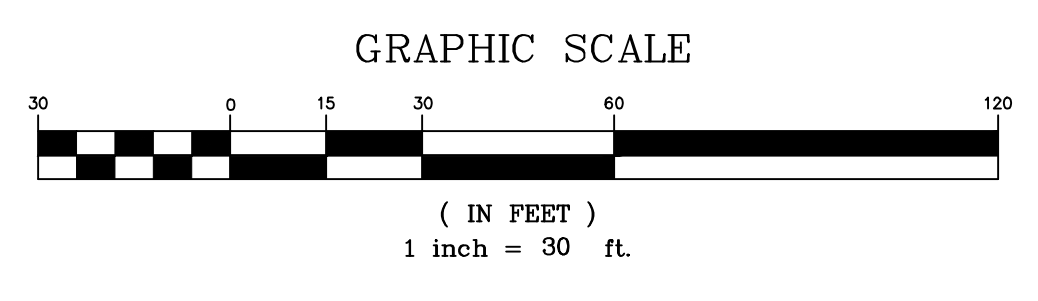
**LEGEND OF SYMBOLS**

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- EXISTING SANITARY MANHOLE
- EXISTING CATCH BASIN
- FLAT TOP CB
- EXISTING SANITARY LINE
- EXISTING STORM LINE
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- GUY ANCHOR
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- IRON PIPE/REBAR
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND WATER
- UNDERGROUND GAS
- UNDERGROUND FOOTING DRAIN
- UNDERGROUND SANITARY LATERAL
- EXISTING TREE
- TO BE REMOVED

OWNER OF RECORD: NICHOLAS MARLOW & DANIEL THORNBERG  
 535-543 PLAINS ROAD  
 MILFORD, CT. 06461  
 (VOL. 3923, PG. 89-91 MLR)

TOTAL PARCEL AREA: 135,170 SQ.FT.±  
 3.10 AC.±

ASSESSORS MAP 62, BLOCK 928, LOT 8.  
 PARCEL IS IN ZONE: R-18, CLUSTERED TO R-10?



REVISIONS	BY

**CODESPOTI & ASSOCIATES P.C.**  
 263 BOSTON POST ROAD, SUITE 5  
 ORANGE, CONNECTICUT 06477  
 TEL: 203-799-4011 FAX: 203-799-4011

PROPOSED SITE DEVELOPMENT PLANS  
**HIGHLAND ESTATES**  
 FOR NICHOLAS MARLOW et al  
**#535-543 PLAINS ROAD**  
 MILFORD, CONNECTICUT

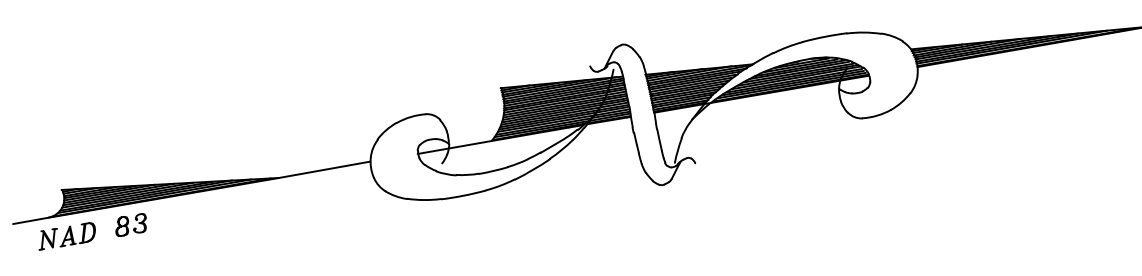
**DEMOLITION PLAN**

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D4456	CONNECTICUT
CAD FILE	CAD VER
4478	C302014
DATE	
09/29/21	
SCALE	
1" = 30'	
JOB NO.	
4478	
SHEET	
<b>DEM</b>	

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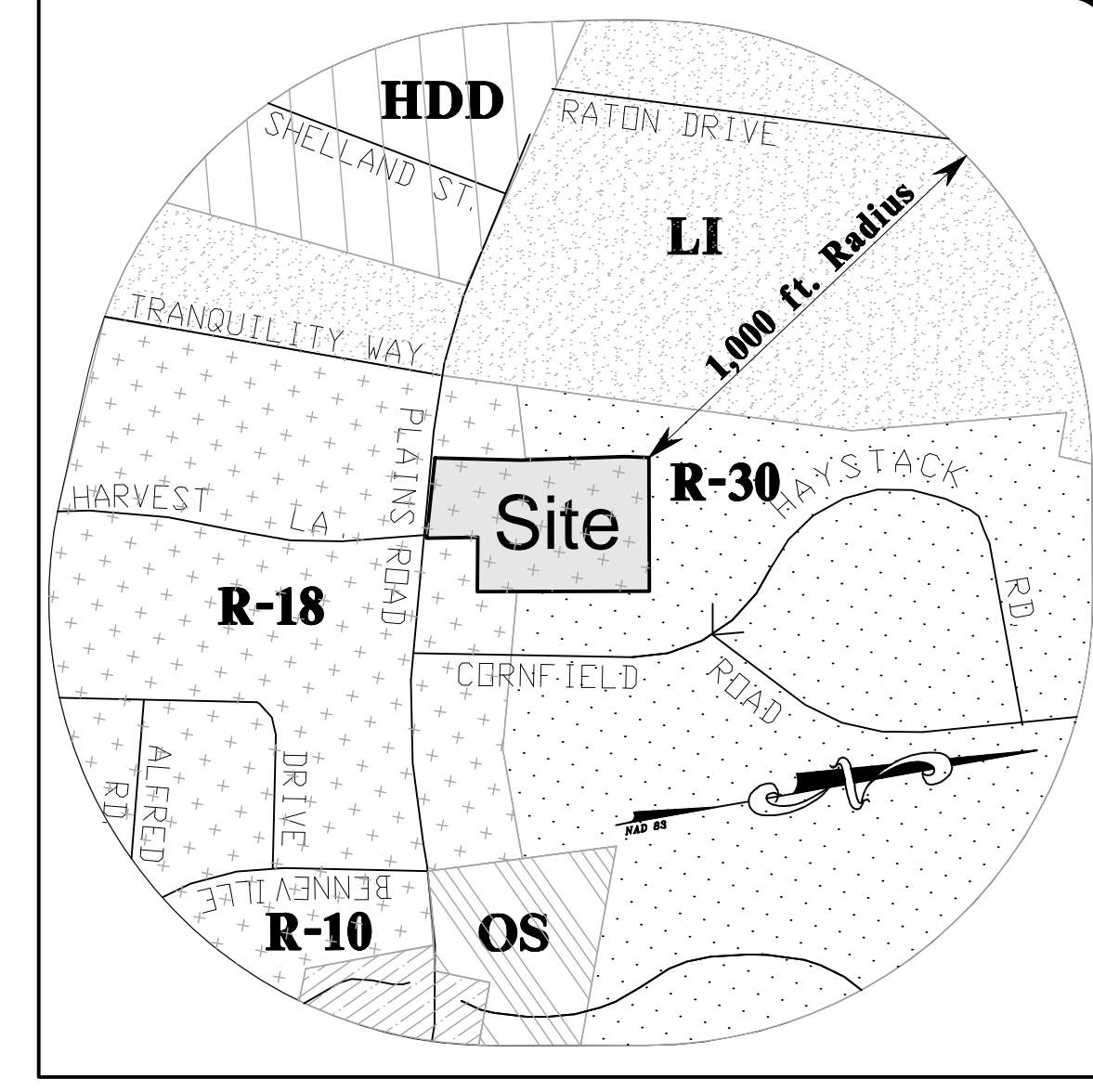
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OWNER OF RECORD: NICHOLAS MARLOW & DANIEL THORNBERG  
 535-543 PLAINS ROAD  
 MILFORD, CT. 06461  
 (VOL. 3923, PG. 89-91 MLR)  
 TOTAL PARCEL AREA: 135,170 SQ.FT.±  
 3.10 AC.±  
 ASSESSORS MAP 62, BLOCK 928, LOT 8.  
 PARCEL IS IN ZONE: R-18, CLUSTERED TO R-10

ZONE R-10 MINIMUM LOT REQUIREMENTS			
Sec.3,2,4,1.	10,000 Sq.Ft.Min.	70.00 Ft. Min.	100.00 Ft. Min.
LOT #	AREA (Sq.Ft.)	WIDTH (Ft.)	DEPTH (Ft.)
1	16,182	162.94	104.89
2	16,193	128.74	126.75
3	14,329	128.01	123.08
4	17,799	122.26	157.47
5	12,576	89.69	140.22
6	12,689	82.92	140.25



LOCATION MAP  
 SCALE: 1" = 400'

MAP REFERENCES:

- "CORNFIELD FARMS SUBDIVISION" 1" = 60' 3/30/78 LAST REV. 11/1/78 BY BERNARD GODFREY. MTC MAP NO. AB1247.
- "SURVEY MAP OF KUCHMA PROPERTY IN MILFORD, CT." 1" = 60' 8/4/71 BY A.J. FLANAGAN JR.
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NOTES:

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- IF DEPICTED, ALL ELEVATIONS / TOPOGRAPHY BASED ON NAVD 1988 GPS DERIVED.

THIS MAP IS VALID AND AUTHORIZED BY THE BELOW SIGNATORY WHEN AND ONLY WHEN ACCOMPANIED WITH A RED LIVE SIGNATURE, A STAMPED SEAL IN BLUE INK AND A LIVE EMBOSSED SEAL OVER THE SIGNATURE'S NAME. ANY OTHER REPRODUCTIONS SHALL BE CONSIDERED UNAUTHORIZED.

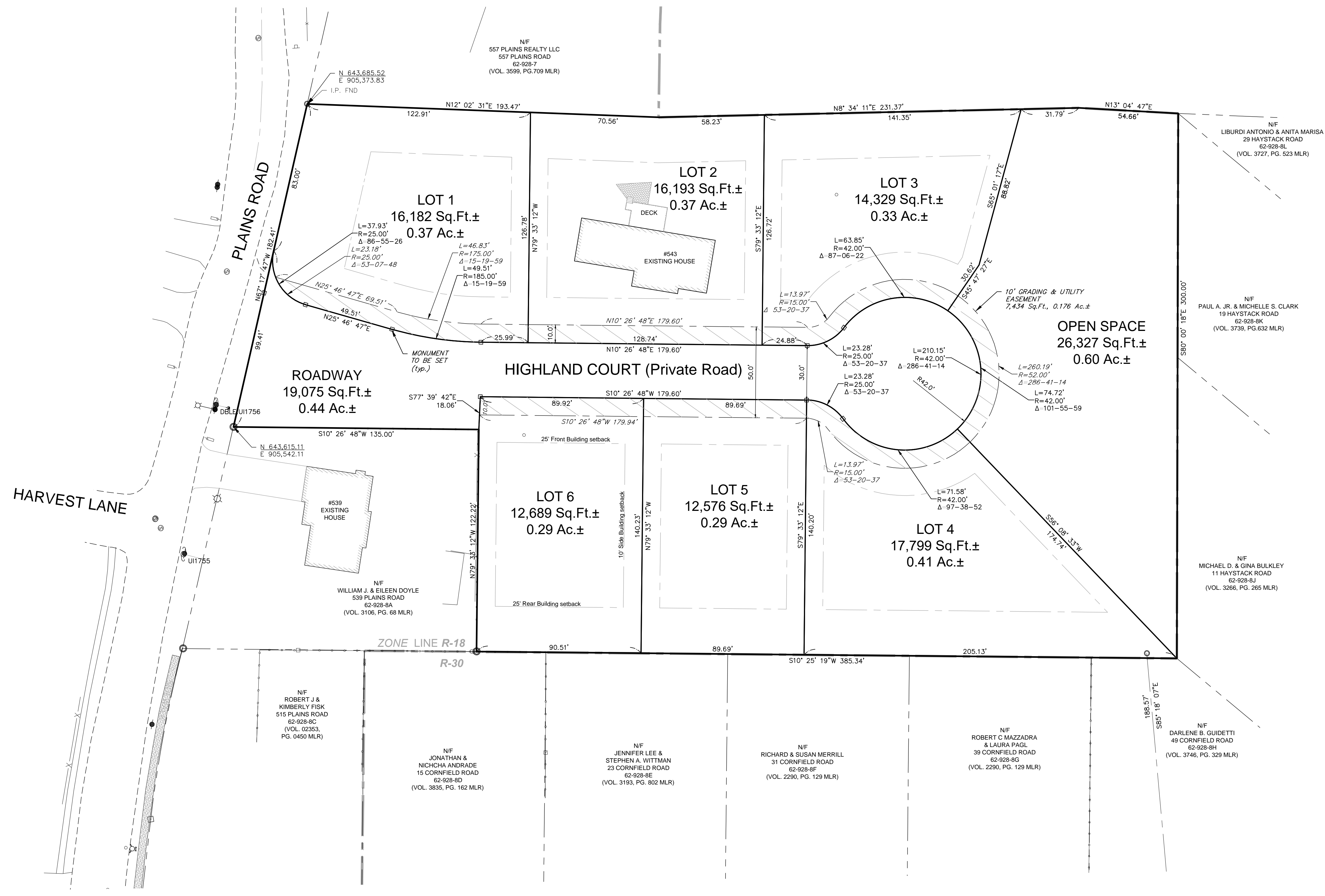
NOTES:

- THIS MAP AND SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE JUNE 21, 1996, AMENDED OCTOBER 26, 2018. ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
  - THE HORIZONTAL ACCURACY CONFORMS TO CLASS "A-2". TOPOGRAPHY CONFORMS TO CLASS "1-3" STANDARDS (SEE MAP REFERENCE 5)
  - THE BOUNDARY DETERMINATION CATEGORY IS A "RESURVEY"
  - THE TYPE OF SURVEY IS A "PROPERTY SURVEY"

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

JOSEPH M. CODESPOTI DATE L.S.#70177

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL.



BY	
REVISIONS	

PROPOSED SITE DEVELOPMENT PLANS  
**HIGHLAND ESTATES**  
 FOR NICHOLAS MARLOW et al  
**#535-543 PLAINS ROAD**  
 MILFORD CONNECTICUT

DATE: 09/29/21  
 SCALE: 1" = 30'  
 JOB NO.: 4478  
 SHEET

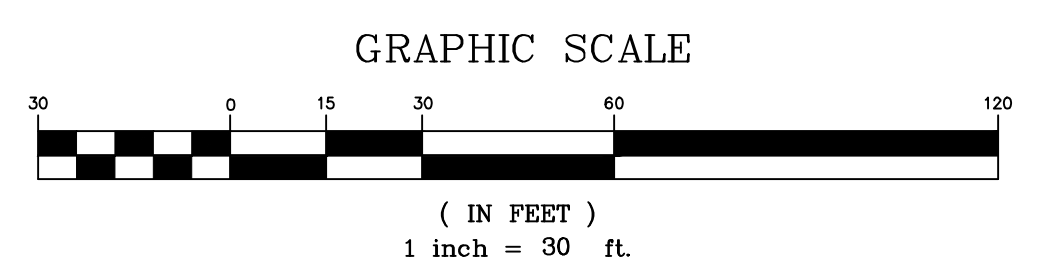
RECORD SUBDIVISION

DWG # D4466  
 CAD FILE 4478

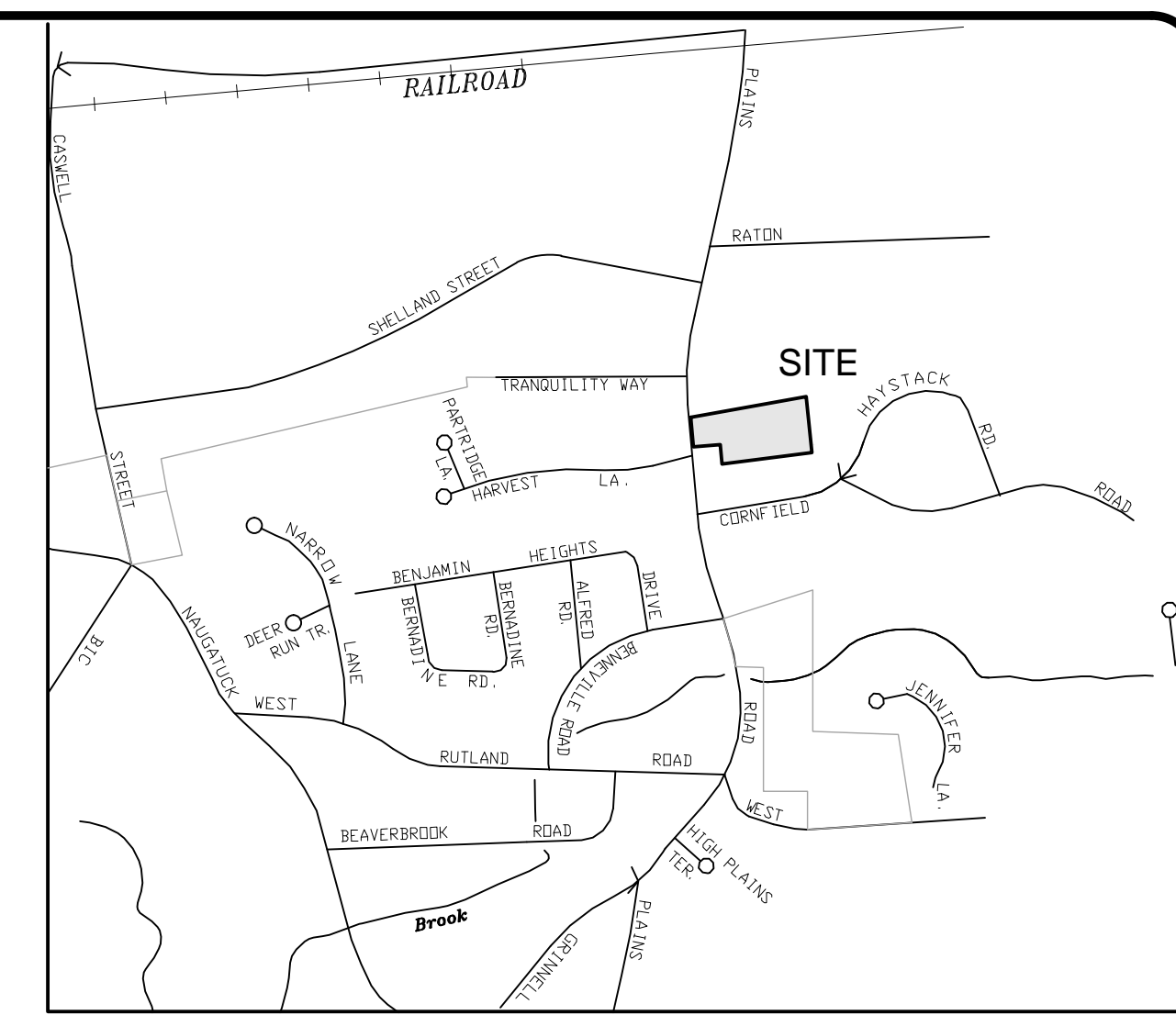
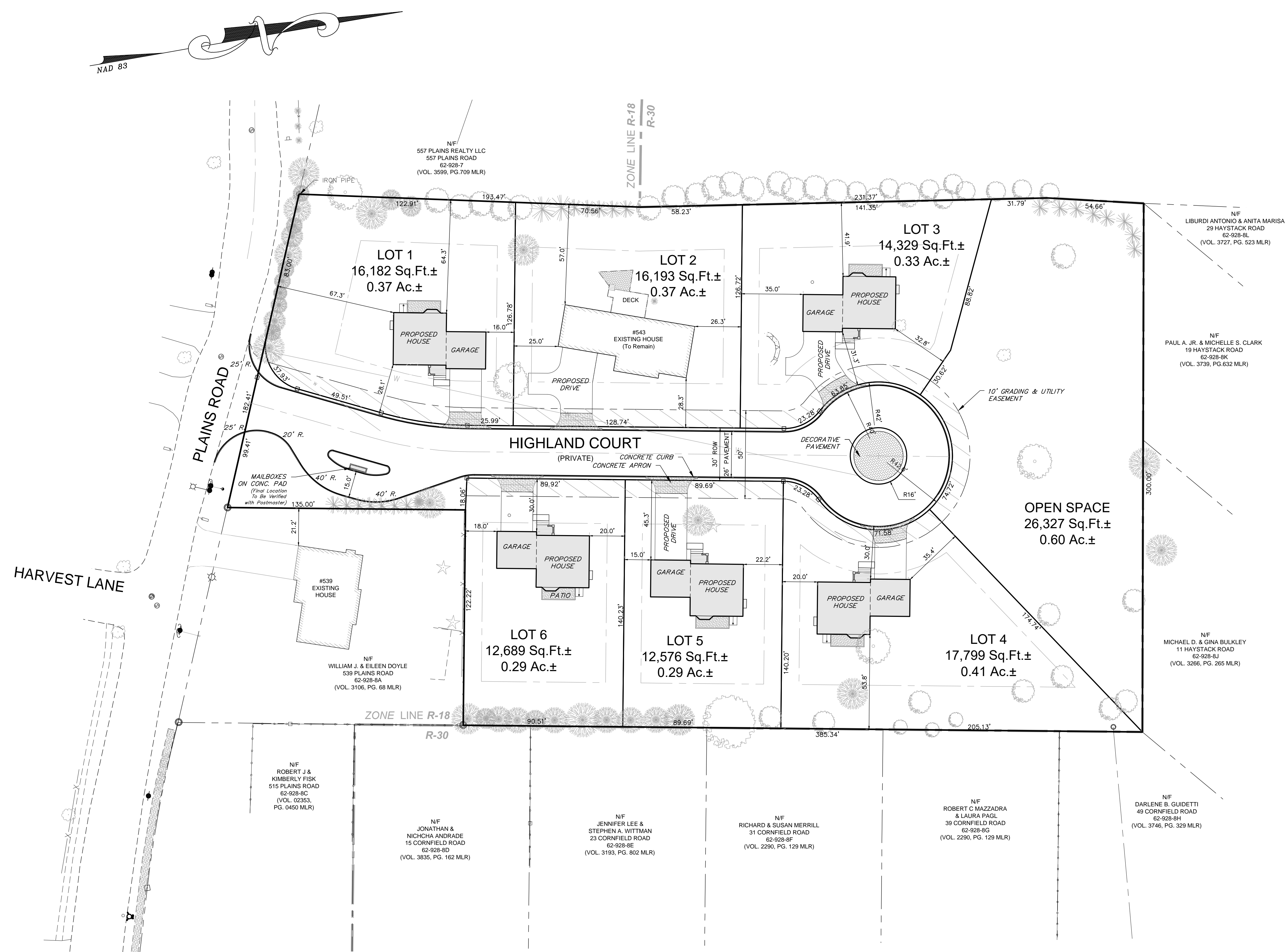
CHECKED CONNECTICUT CAD VER C302014

DATE 09/29/21  
 SCALE 1" = 30'  
 JOB NO. 4478  
 SHEET

SP1



NAD 83



OWNER OF RECORD: NICHOLAS MARLOW & DANIEL THORNBERG  
 535-543 PLAINS ROAD  
 MILFORD, CT. 06461  
 (VOL. 3923, PG. 89-91 MLR)

TOTAL PARCEL AREA: 135,170 SQ.FT. ±  
 3.10 AC. ±

ASSESSORS MAP 62, BLOCK 928, LOT 8.  
 PARCEL IS IN ZONE: R-18

TREE CALIPER CALCULATIONS:  
 3.10 Ac. ± x 75"/Acre = 232.5" required

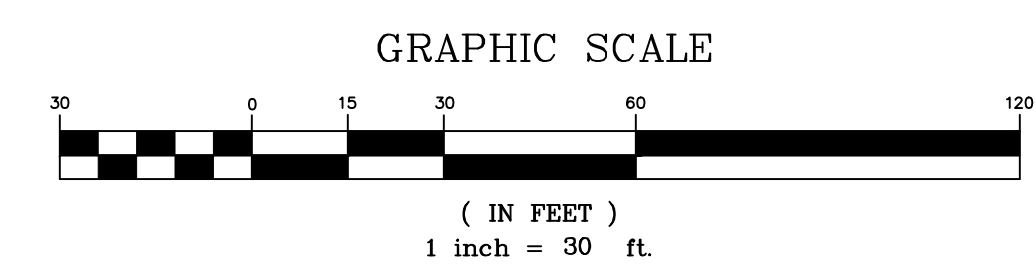
PROPOSED LOT/OPEN SPACE TREE DISPERSEMENT-

LOT 1 -	300"±
LOT 2 -	60"±
LOT 3 -	16"±
LOT 4 -	107"±
LOT 5 -	75"±
LOT 6 -	48"±
OPEN SPACE -	100"±
TOTAL PROVIDED:	706" Minimum

NOTE: SIDEWALK WAIVER REQUESTED

LEGEND OF SYMBOLS

- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING CATCH BASIN
- ⊙ FLAT TOP CB
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- EXISTING GUTTER LINE
- EASEMENT LINE
- CHAIN LINK FENCE
- U- UTILITY POLE
- GUY ANCHOR
- ⊗ WATER METER / VALVE
- ⊗ BOULDER
- ⊗ MONUMENT FOUND
- ⊗ EXISTING LAMP POST
- ⊗ HYDRANT
- ⊗ WATER SHUT OFF
- ⊗ IRON PIPE/REBAR
- E- UNDERGROUND ELECTRIC
- T- UNDERGROUND TELEPHONE
- W- UNDERGROUND WATER
- G- UNDERGROUND GAS
- FD- UNDERGROUND FOOTING DRAIN
- S- UNDERGROUND SANITARY LATERAL
- EXISTING TREE
- SPOT ELEVATION
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE



REVISIONS

BY	
#####	

PROPOSED SITE DEVELOPMENT PLANS  
**HIGHLAND ESTATES**  
 FOR NICHOLAS MARLOW et al  
**#535-543 PLAINS ROAD**  
 MILFORD CONNECTICUT

CODESPOTI & ASSOCIATES P.C.  
 263 BOSTON POST ROAD, SUITE 5  
 ORANGE, CONNECTICUT 06477  
 TEL: 203-799-4011 FAX: 203-799-4011

PROPOSED SITE DEVELOPMENT PLANS  
**HIGHLAND ESTATES**  
 FOR NICHOLAS MARLOW et al  
**#535-543 PLAINS ROAD**  
 MILFORD CONNECTICUT

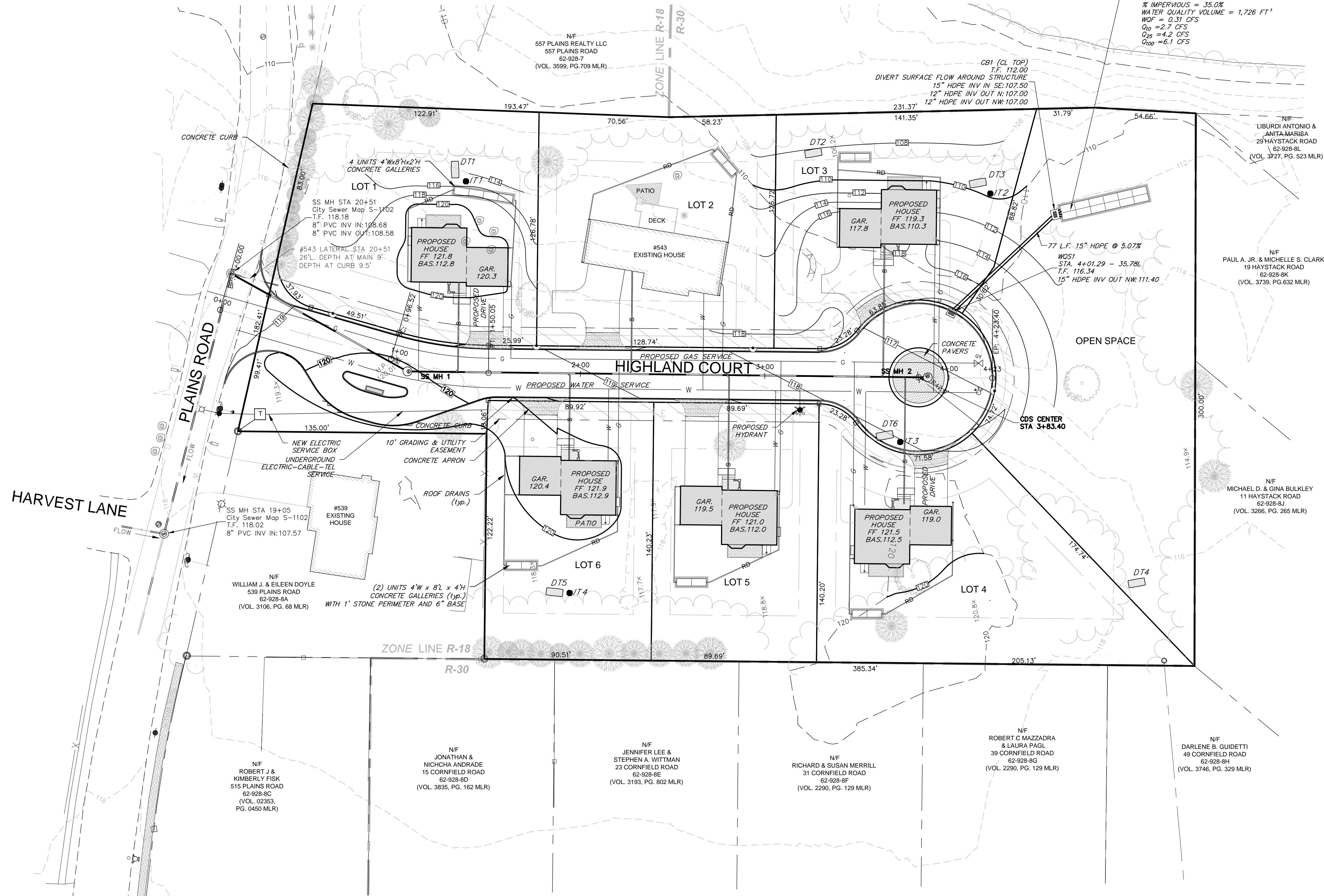
SITE PLAN  
 6 LOTS

DWG #	44466	CHECKED	CONNECTICUT
CAD FILE	4478-Site	CAD VER	C302014
DATE	09/29/21		
SCALE	1" = 30'		
JOB NO.	4478		
SHEET			
<b>SP2</b>			

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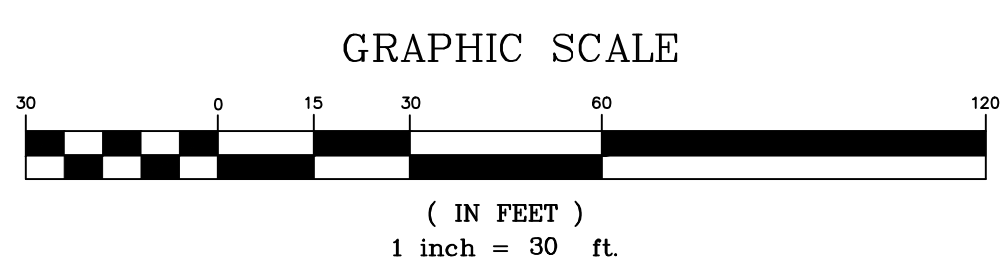
Roof Drain Gallery Elevations					
Lot #	EG @ Gallery	Gallery Height	Bottom Stone	Bottom Gallery	Top Gallery
1	114.0	2.0	111.0	111.5	113.5
2	110.0	4.0	105.0	105.5	109.5
3	106.5	4.0	101.5	102.0	106.0
4	116.0	4.0	111.0	111.5	115.5
5	119.0	4.0	114.0	114.5	118.5
6	118.0	4.0	113.0	113.5	117.5
7	118.3	4.0	113.3	113.8	117.8



- Map References:**
- "Division of land of the estate of Mary McAndrew 539 Plains Road Milford, Ct." 02/24/00 1" = 40' by Codespoti & Associates. map AB2601 M.L.R.
- General Notes:**
- All construction methods, materials and system installation are to conform to all applicable local and state health codes.
  - Topographic information based upon Golden Aerial Surveys photogrammetry flown 01/17/20 and field survey by Codespoti & Associates. Vertical datum is NAVD 1988.
  - Property is to be served by public water and sewer. Contractor to coordinate underground electric service with United Illuminating.
  - Benchmark to be set by engineer/surveyor prior to the start of construction.
  - It is the contractor's responsibility to verify all on-site and off-site field conditions and determine that no changes have occurred since the issuance of this plan. The Design Engineer is to be notified of any field conditions that conflict with this plan.
  - Soil erosion control measures are to be implemented prior to the start of construction and shall be properly maintained for the duration of construction.
  - The locations of existing utilities are shown in an approximate way only and have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work and assumes all responsibility for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.
  - For location of underground electric, telephone, gas, cable t.v. and other facilities of public utility companies, inquire of "CALL BEFORE YOU DIG, INC. 800-922-4455".
  - Proposed utilities where shown are schematic in nature. The site contractor shall be responsible for coordinating with each respective utility company for exact location of facilities.
  - The subject parcel appears to lie within flood zone "X" as depicted on FEMA's Flood Insurance Rate Map (FIRM), entitled Fairfield County, Connecticut (all jurisdictions); Panel no. 09009C05261 effective date July 8, 2013 1"=500'. Any FEMA floodplain and/or floodway information by Codespoti & Associates P.C. does not warrant the accuracy of this information, and makes no representation upon which the client should rely in connection with the flood zone of the subject parcel or any FEMA floodplain and/or floodway information depicted hereon.
- Wetland Notes:**
- There are no Inland Wetlands on site based upon review of Natural Resources Conservation Service (NRCS) Web Soil Survey and City of Milford Inland Wetland mapping.
- Sanitary Sewer Notes:**
- The contractor shall verify all dimensions and elevations in the field. Any discrepancies shall be brought to the engineer's attention.
  - All construction materials and methods of construction if required shall be in accordance with City of West Haven standards.
  - The contractor shall be responsible for the restoration of all disturbed areas during the course of construction. This includes pavement, sidewalks, driveways, fencing, irrigation, ornamental landscaping, etc. Lawn areas shall be prepared with 4" of topsoil prior to the placement of grass seed or sod. The contractor shall be responsible for providing site photographs of existing conditions prior to any site disturbance.
- Storm Water Gallery Notes:**
- Stormwater galleries for individual lots have been sized to store the calculated water quality volume and provide for overall volume reduction. Should the footprint areas deviate from that shown on this plan, additional analysis may be required to demonstrate that a zero increase in runoff for the 25 year design storm can be met. The entire roof for each lot shall be directed to the galleries.
  - Shop drawings of stormwater management components shall be provided to the design engineer prior to installation.
  - Locations of all galleries are subject to field conditions. All elevations shall be confirmed by the contractor prior to installation. Location should be no closer than 25' to buildings with basements, 10' otherwise and otherwise comply with separating distances as prescribed by the State of Connecticut Health Code.
  - Care should be taken during site preparation and construction to protect the gallery area from unnecessary disturbance and compaction to avoid premature failure of the system.
  - No surface runoff is to be directed to the galleries until the entire tributary drainage area has been stabilized & paved. Bottom of gallery elevations based upon previous site testing and provides for a minimum 18" separating distance to seasonal groundwater. Additional testing is recommended just prior to construction to verify that the separating distance will be met.
  - Installation of the system shall be supervised by a professional engineer.
  - Contractor shall notify the City of Milford Engineering Department and design engineer for inspection and obtaining as-built information prior to backfilling of galleries.
- Construction schedule:**
- Clear and grub trees and vegetation in proposed construction area.
  - Install silt fence as indicated on plan.
  - Excavate for footings, to be placed on virgin ground a minimum of 42" below finish grade.
  - Stockpile areas to be appropriately located and protected.
  - Proceed with grading for house and driveway construction.
  - Install storm drainage and sanitary structures.
  - Install protection for internal drainage structures with hay-bales prior to becoming operable.
  - Install storm water infiltration galleries.
  - Finish grading and seed disturbed areas.
  - Remove silt fence and dispose of sediment as directed by the engineer.
  - Don Thornberg is assigned the responsibility for implementing these erosion control measures. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of this plan.

**LEGEND OF SYMBOLS**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED MANHOLE
- PROPOSED SANITARY SEWER
- PROPOSED STORM PIPE
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING CATCH BASIN
- FLAT TOP CB
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- EXISTING CUTTER LINE
- EASEMENT LINE
- CHAIN LINK FENCE
- UTILITY POLE
- GUY ANCHOR
- WATER METER / VALVE
- GAS METER/VALVE
- POST & RAIL FENCE
- STONE WALL
- WALK SIGNAL
- AIR CONDITIONER UNITS/CONC. PAD
- MONUMENT FOUND
- EXISTING LAMP POST
- HYDRANT
- WATER SHUT OFF
- BOLLARD
- IRON PIPE/REBAR
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND WATER
- UNDERGROUND GAS
- UNDERGROUND ROOF DRAIN
- UNDERGROUND SANITARY LATERAL



**BY**  
JNG

**REVISIONS**  
1.19.22 ADD UNDERGROUND ELECTRIC SCHEMATIC PER CITY PLANNER

**CODESPOTI & ASSOCIATES P.C.**  
 263 BOSTON POST ROAD, SUITE 5  
 ORANGE, CONNECTICUT 06477  
 TEL: 203-799-4011  
 FAX: 203-799-4011

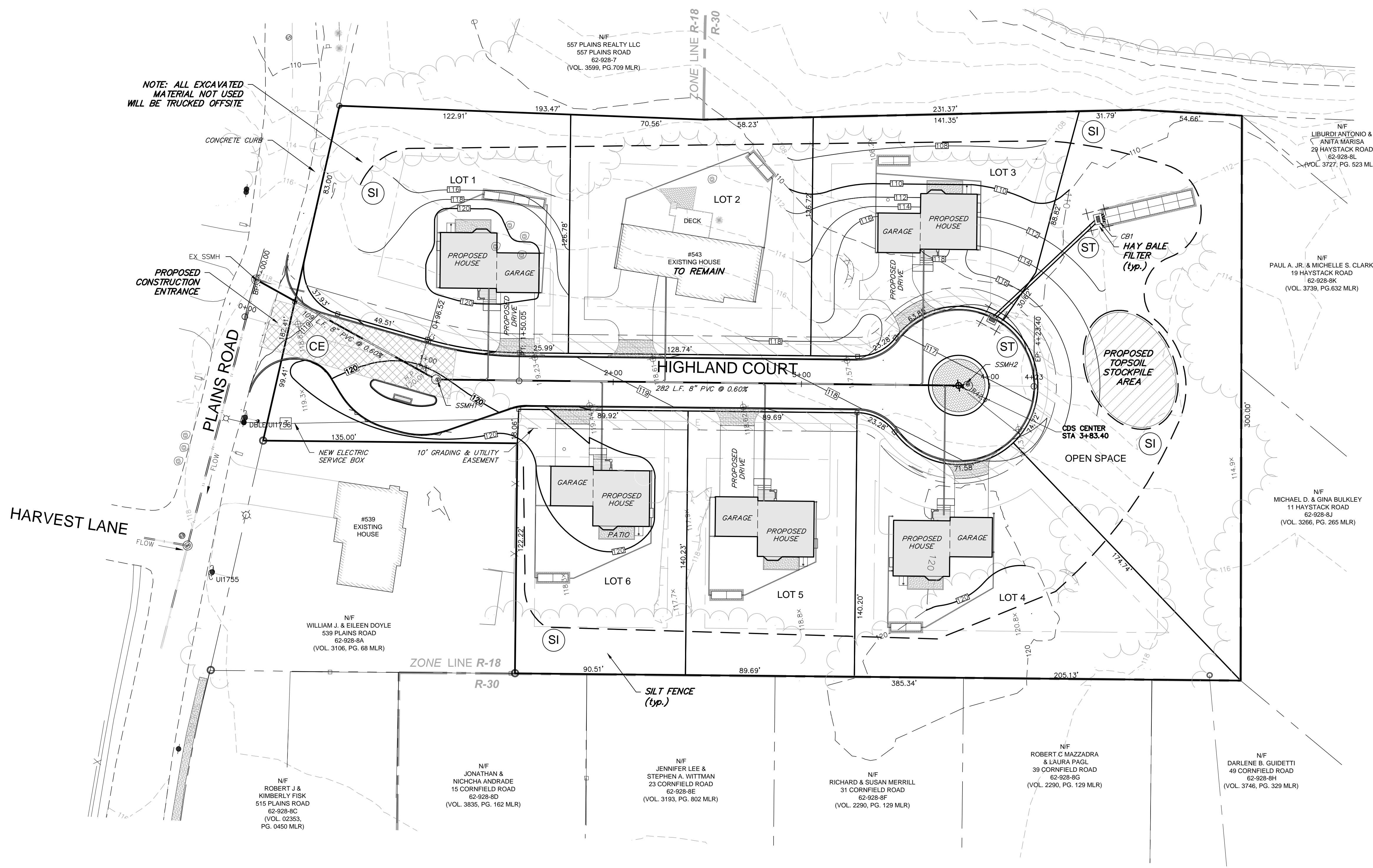
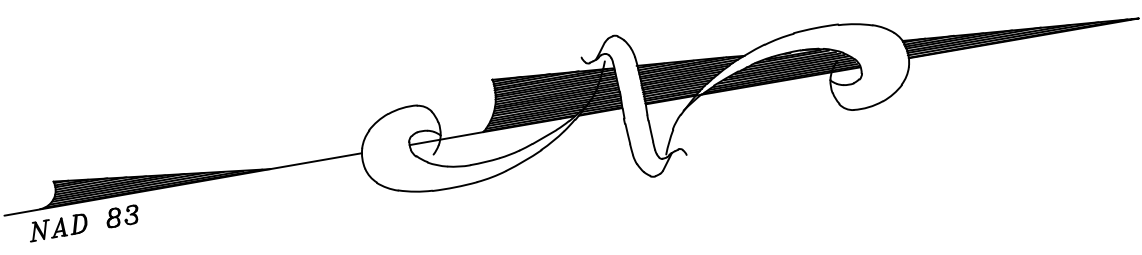
**PROPOSED SITE DEVELOPMENT PLANS**  
**HIGHLAND ESTATES**  
 FOR NICHOLAS MARLOW et al  
**#535-543 PLAINS ROAD**  
 MILFORD CONNECTICUT

**GRADING & UTILITY PLAN**

DWG #	4478-Civil	CHECKED	CONNECTION
DWG #	D4466	CAD FILE	CAD VER
DATE	09/29/21	SCALE	1" = 30'
JOB NO.	4478	SHEET	SP3

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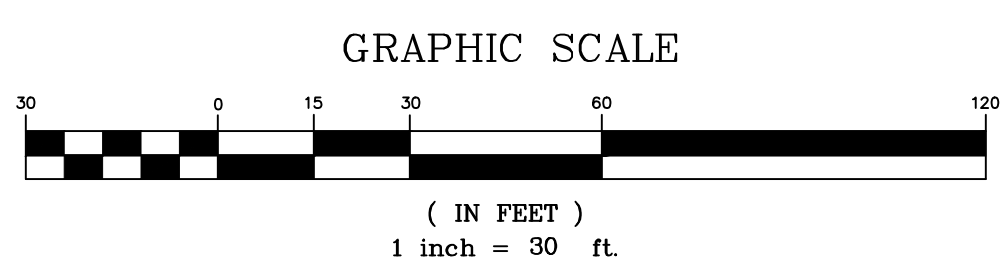


NOTE: ALL EXCAVATED MATERIAL NOT USED WILL BE TRUCKED OFFSITE

**LEGEND OF SYMBOLS**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED MANHOLE
- PROPOSED SANITARY SEWER
- PROPOSED STORM PIPE
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING CATCH BASIN
- FLAT TOP CB
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- EXISTING GUTTER LINE
- EASEMENT LINE
- CHAIN LINK FENCE
- UTILITY POLE
- GUY ANCHOR
- WATER METER / VALVE
- GAS METER / VALVE
- POST & RAIL FENCE
- STONE WALL
- WALK SIGNAL
- MONUMENT FOUND
- EXISTING LAMP POST
- HYDRANT
- WATER SHUT OFF
- BOLLARD
- IRON PIPE/REBAR
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND WATER
- UNDERGROUND GAS
- UNDERGROUND ROOF DRAIN
- UNDERGROUND SANITARY LATERAL

- LEGEND:**
- CE - CONSTRUCTION ENTRANCE
  - DV - DIVERSION
  - OP - OUTLET PROTECTION
  - PV - PERMANENT VEGETATION
  - RR - RIP RAP
  - SI - SILT FENCE
  - SS - SILT SACK
  - ST - HAYBALE FILTER
  - TV - TEMPORARY VEGETATIVE COVER
  - VP - VEGETATIVE PROTECTION



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<b>BY</b>	JNG
<b>REVISIONS</b>	1.19.22 ADD UNDERGROUND ELECTRIC SCHEMATIC PER CITY PLANNER

**CODESPOT & ASSOCIATES P.C.**  
 263 BOSTON POST ROAD, SUITE 5  
 ORANGE, CONNECTICUT 06477  
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**PROPOSED SITE DEVELOPMENT PLANS  
 HIGHLAND ESTATES  
 FOR NICHOLAS MARLOW et al  
 #535-543 PLAINS ROAD  
 MILFORD CONNECTICUT**

**SOIL EROSION & SEDIMENT CONTROL PLAN**

DWG #	4478-Civil	CHECKED	CONNECTICUT
CAD FILE	4478-Civil	CAD VER	C302014
DATE	09/29/21	SCALE	1" = 30'
JOB NO.	4478	SHEET	

**SP4**



NAD 83

### Plant List

SYMBOL	#	NAME	Size	Condition
Ac	3	Amelanchier canadensis	6-8' Ht.	1-B&B
Gt	5	SHADBLOW	3-3.5" cal.	2-B&B
Qp	4	Quercus palustris	3-3.5" cal.	2-B&B
Pa	6	Pinus strobus	5-6' Ht.	3-B&B
X		Existing Tree to Remain	>6" Cal.	4
X		Existing Tree to be Removed		
Cs	5	Cornus sibirica alba	18-24" Ht.	CG
Fs	5	Forsythia intermedia spectabilis	2-2.5' spr.	CG/B&B
Hm	10	HYDRANGEA	2-2.5' Ht.	CG
Rc	0	Rhododendron carolinianum P.J.M.	2.5-3' Ht.	CG/B&B
Vc	4	Viburnum carlesii	2.5-3' Ht.	CG/B&B

1- CLUMP FORM MINIMUM 5 CANES  
 2- STRAIGHT TRUNK, SINGLE LEADER, NO LIMBS BELOW 6 FT.  
 3- STRAIGHT TRUNK, SINGLE LEADER, LOW BRANCHED  
 4- SEE EXISTING CONDITIONS PLAN OR LANDSCAPE PLAN

NOTE: IF THERE IS ANY DISCREPANCY BETWEEN THE NUMBER OF PLANTS LISTED OR THOSE GRAPHICALLY DEPICTED, THE HIGHER NUMBER SHALL PREVAIL.

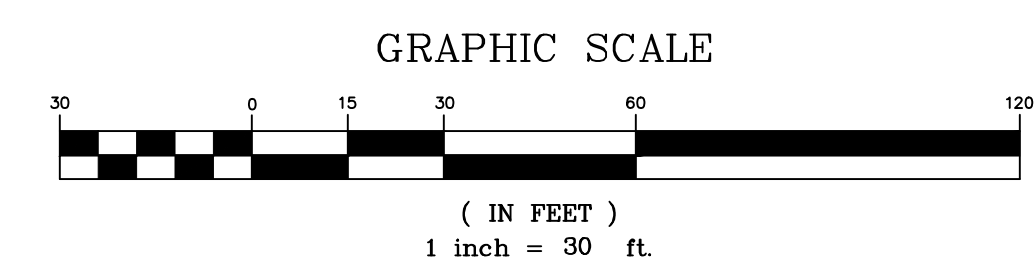
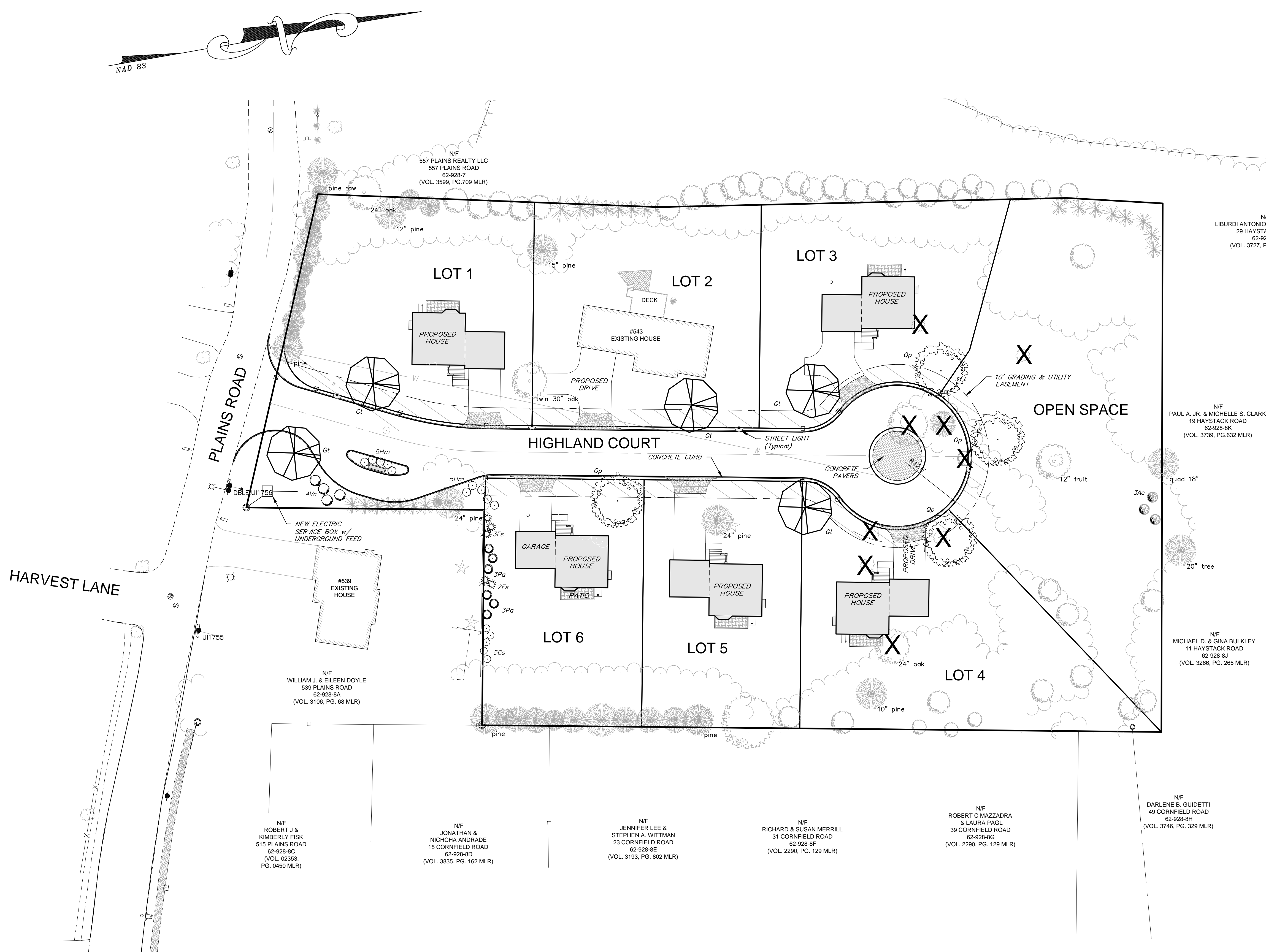
### Lighting Legend

SYMBOL	#	Description
L#	5	LED 'LANTERN' STYLE LUMINAIRES (DISTRIBUTION AS NOTED) MOUNTED ON 16" ALUMINUM OR STEEL SHAFT POLES BY RAB LIGHTING OR EQUIVALENT

TREE CALIPER CALCULATIONS:  
 3.10 Ac. ± x 75"/Acre = 232.5" required

PROPOSED LOT/OPEN SPACE TREE DISPERSMENT:

LOT 1 -	300"±
LOT 2 -	60"±
LOT 3 -	16"±
LOT 4 -	87"±
LOT 5 -	75"±
LOT 6 -	48"±
OPEN SPACE -	110"±
TOTAL PROVIDED:	696" Minimum



AGENCY SUBMISSION DRAWINGS  
 NOT FOR CONSTRUCTION

BY	JNG	NW
PLANNER		
TRANSFORMER SCHEMATIC PER CITY		
ABORIST PER CITY PLANNER		

REVISIONS

1.19.22 ADD UNDERGROUND ELECTRIC TRANSFORMER SCHEMATIC PER CITY PLANNER

1.27.22 ADD ENHANCED TREE LOCATIONS BY ABORIST PER CITY PLANNER

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CODESPOT & ASSOCIATES P.C.

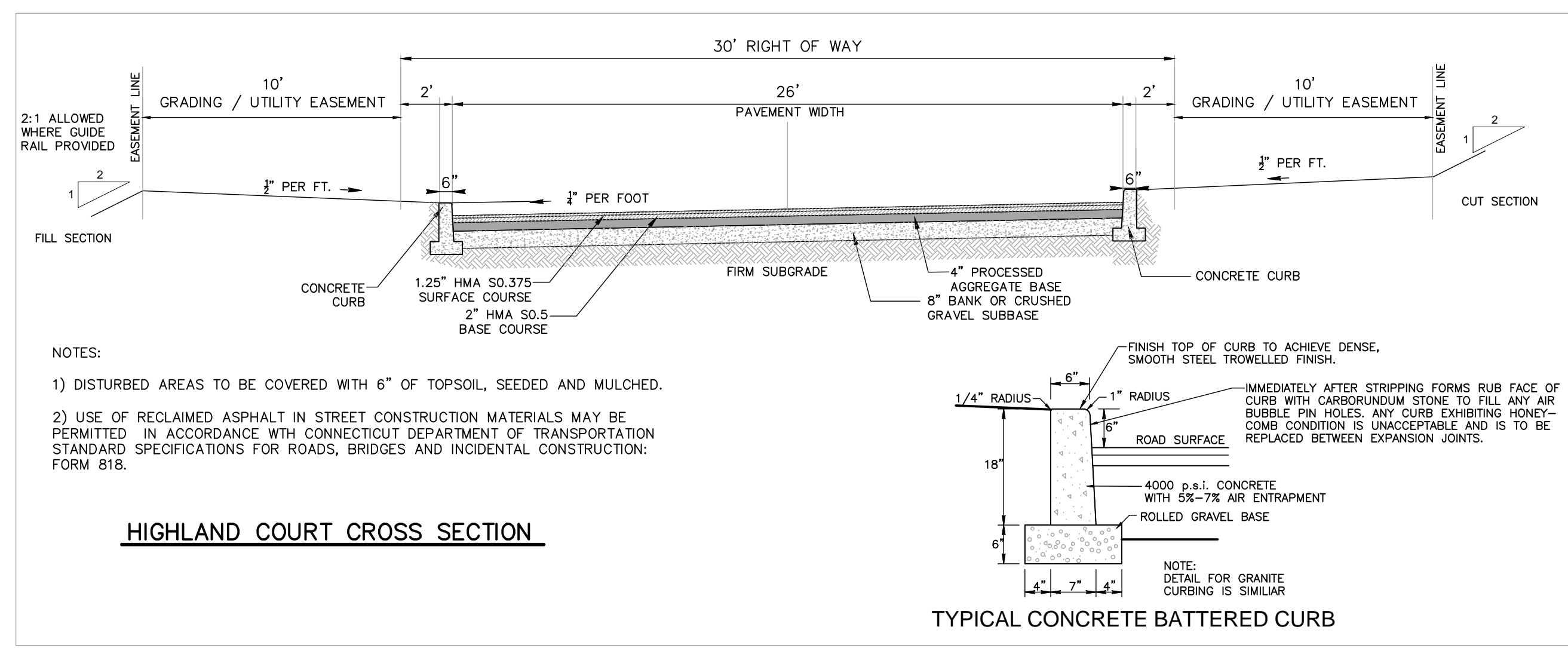
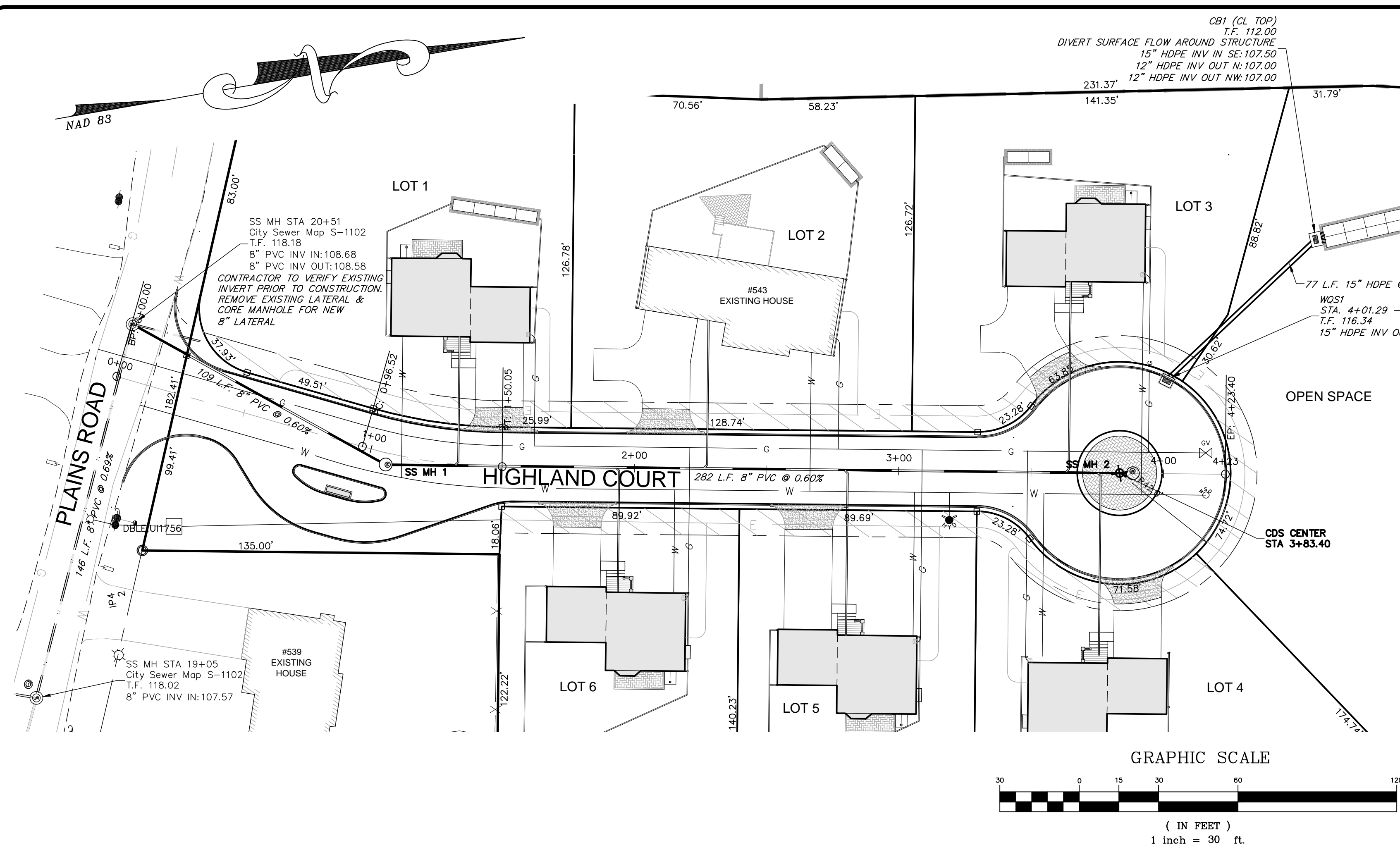
263 BOSTON POST ROAD, SUITE 5  
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 TEL: 203-799-4011 FAX: 203-799-4011

PROPOSED SITE DEVELOPMENT PLANS  
 HIGHLAND ESTATES  
 FOR NICHOLAS MARLOW et al  
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 MILFORD CONNECTICUT

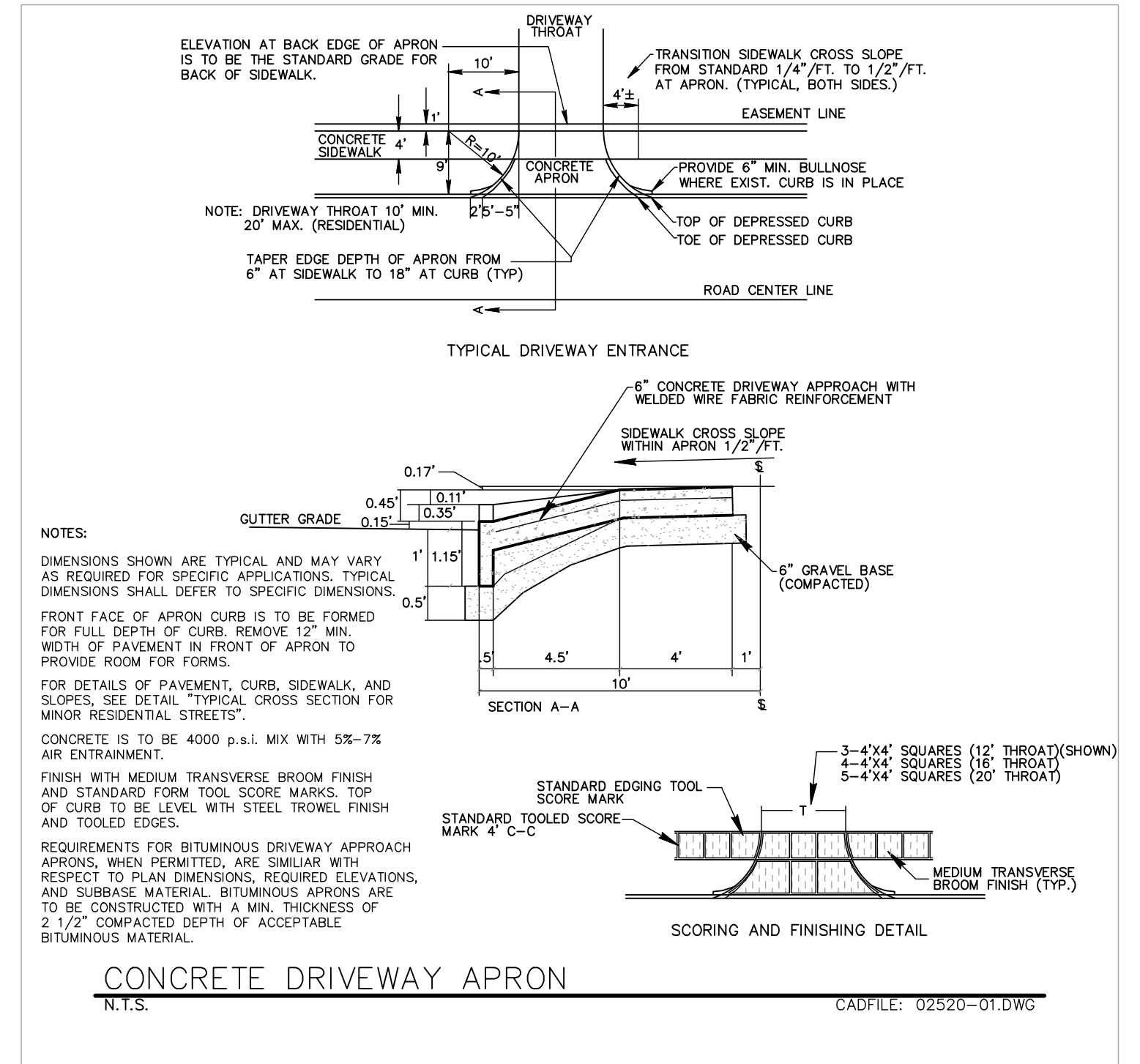
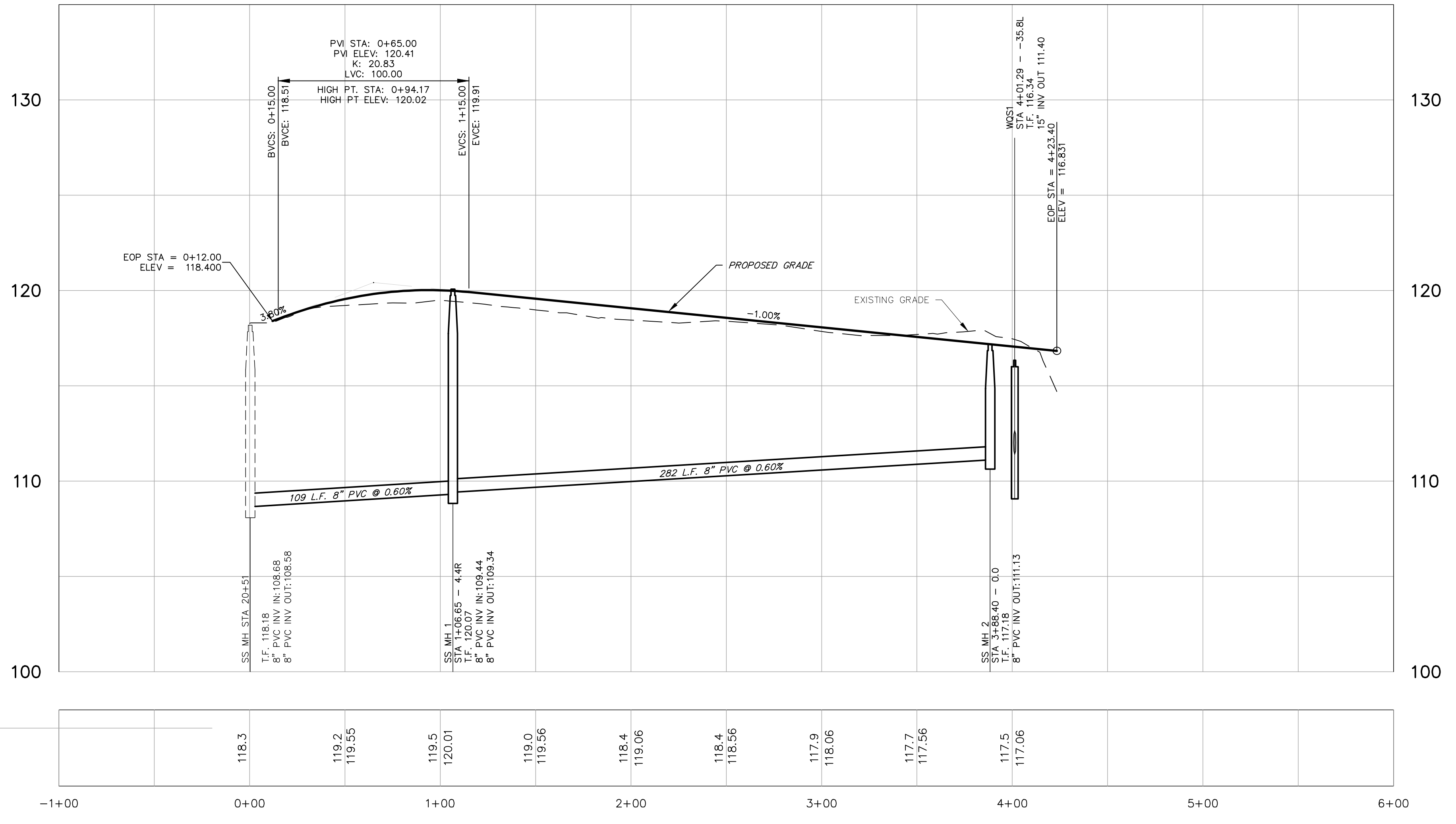
LANDSCAPE PLAN

DWG #	CHECKED
D4-466	CONNECTICUT
CAD FILE	CAD VER
4478-Landscape	C302014
DATE	DATE
09/29/21	
SCALE	SCALE
1" = 30'	
JOB NO.	JOB NO.
4478	
SHEET	SHEET
SP5	

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HIGHLAND COURT PROFILE



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REVISIONS	BY

DATE PLOTTED: 08/29/21  
SCALE: 1" = 40' Hor., 1" = 4' Ver.  
JOB NO. 4478  
SHEET

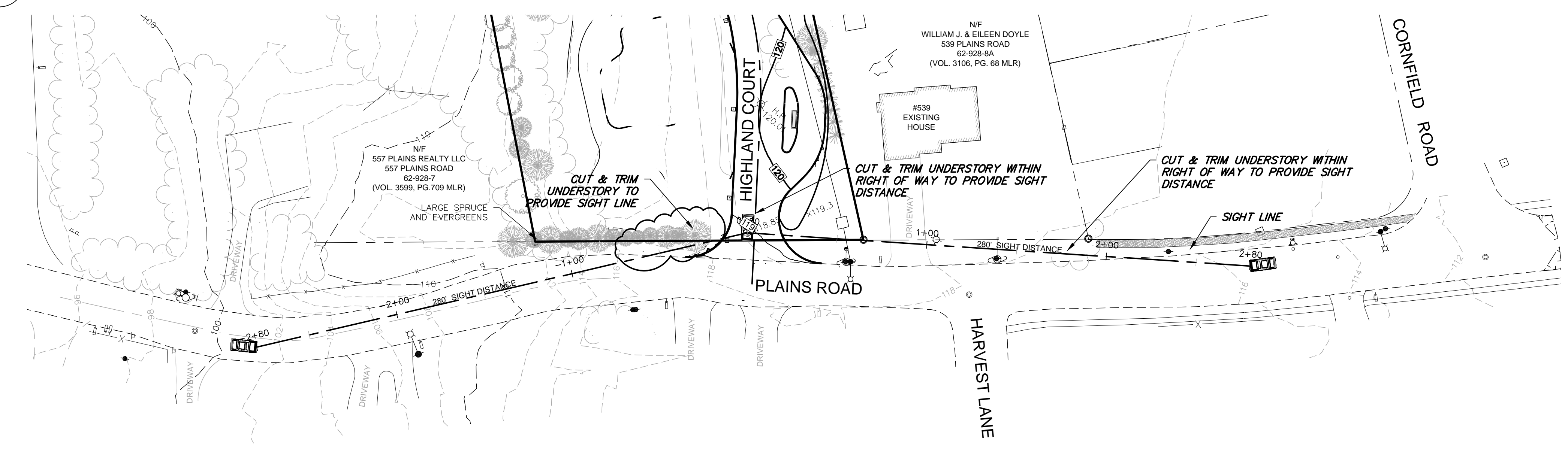
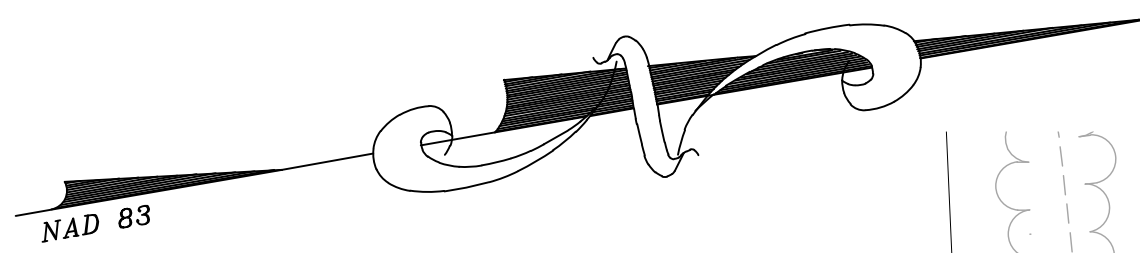
**CODESPOT & ASSOCIATES P.C.**  
263 BOSTON POST ROAD, SUITE 5  
ORANGE, CONNECTICUT 06477  
TEL: 203-799-0011 FAX: 203-799-0011

PROPOSED SITE DEVELOPMENT PLANS  
**HIGHLAND ESTATES**  
FOR NICHOLAS MARLOW et al  
**#535-543 PLAINS ROAD**  
MILFORD CONNECTICUT

PLAN & PROFILE

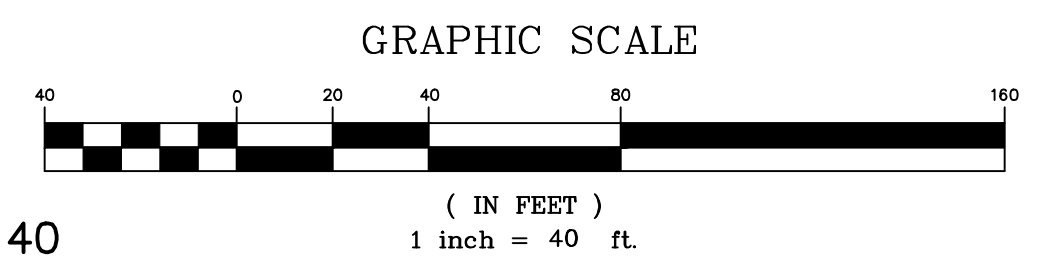
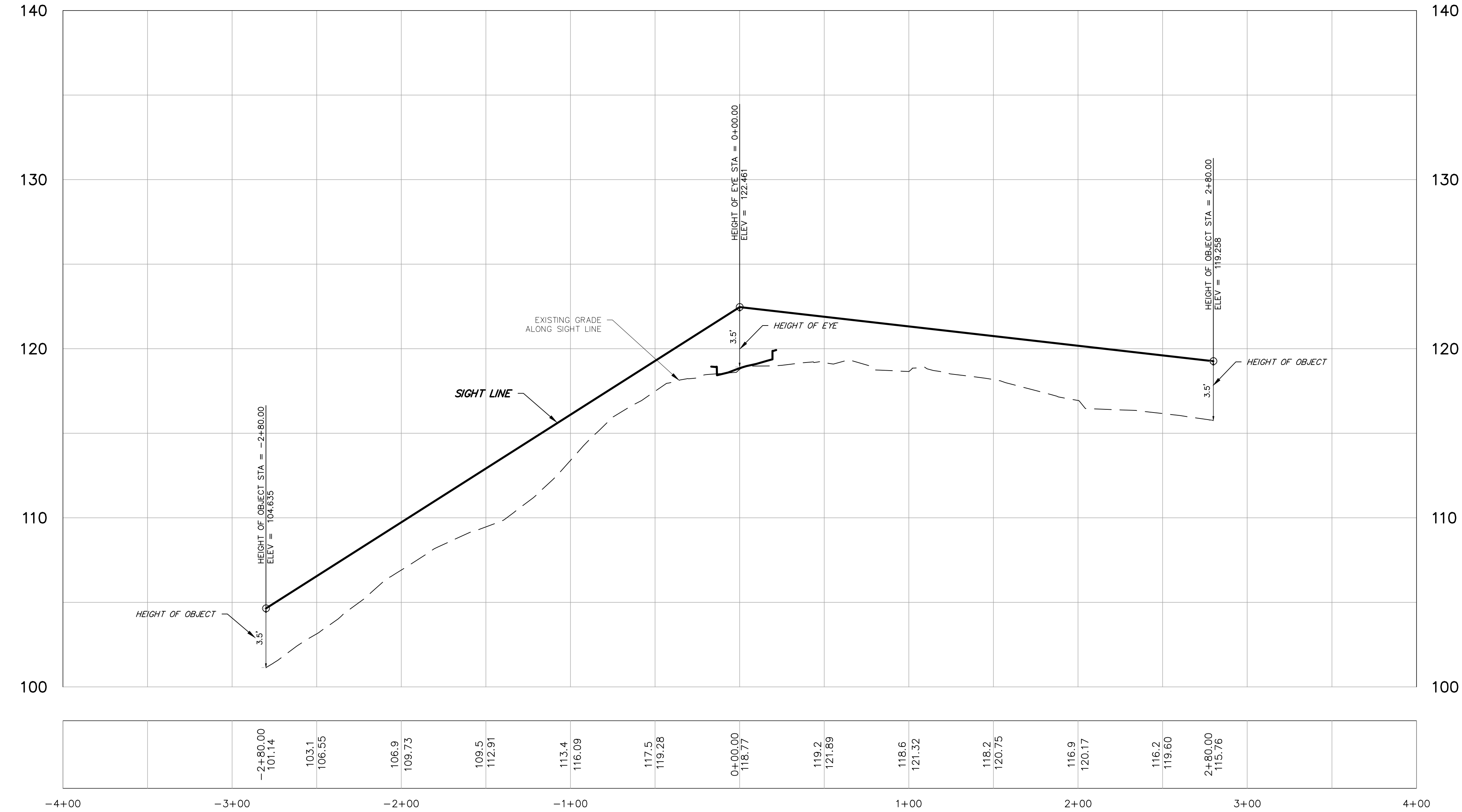
DWG #	CHECKED
D4466	CONNECTICUT
CAD FILE	CAD VER
4478-Civil	C302014
DATE	08/29/21
SCALE	1" = 40' Hor., 1" = 4' Ver.
JOB NO.	4478
SHEET	SP6





POSTED 25 MPH SPEED LIMIT  
INTERSECTION SIGHT DISTANCE (ISD)  
FOR 25 MPH DESIGN SPEED = 280'

SIGHT LINE - 280 PROFILE



REVISIONS	BY

**CODESPOTI & ASSOCIATES P.C.**  
 263 BOSTON POST ROAD, SUITE 5  
 ORANGE, CONNECTICUT 06477  
 TEL: 203-799-0011  
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PROPOSED SITE DEVELOPMENT PLANS  
**HIGHLAND ESTATES**  
 FOR NICHOLAS MARLOW et al  
**#535-543 PLAINS ROAD**  
 MILFORD CONNECTICUT

SIGHT LINE  
 PLAN & PROFILE

DWG #	CHECKED
D4-466	CONNECTICUT
CAD FILE	CAD VER
4478-CIVIL	C302014
DATE	09/29/21
SCALE	1" = 40'
JOB NO.	4478
SHEET	

**SP7**

**SOIL EROSION CONTROL NOTES**

- LAND DISTURBANCES WILL BE KEPT TO A MINIMUM; RESTABILIZATION WILL BE SCHEDULED AS SOON AS POSSIBLE. TEMPORARY SEEDING OR PERMANENT HYDRO-SEEDING SHOULD TAKE PLACE IMMEDIATELY UPON COMPLETION OF GRADING. PERMANENT SEEDING WILL BE SCHEDULED DURING THE PERIOD APRIL 1 - JUNE 15, AUGUST 15 - SEPTEMBER 15.
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE AND WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- HAY BALE FILTERS WILL BE INSTALLED AS SHOWN ON THIS PLAN AS WELL AS AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- ALL DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND THE EMBANKMENTS STABILIZED AS SOON AS POSSIBLE AFTER THE CONSTRUCTION COMMENCES.
- CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP-RAP CHANNELS; ENERGY DISSIPATORS WILL BE PROVIDED AS NECESSARY.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF NECESSARY AS REQUIRED.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- CROWNVEITCH / PERENNIAL RYE GRASS (40% - 60% MIXTURE) IS RECOMMENDED TO BE APPLIED AT A RATE OF 2.5 LBS. PER 1000 SQUARE FEET TO STABILIZE ALL FILL AND CUT EMBANKMENTS.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE BURIED OR DISPOSED OF AS DETERMINED BY THE TOWN ENGINEER.
- DAN THORNBURG** (203)-306-7818  
NAME PHONE

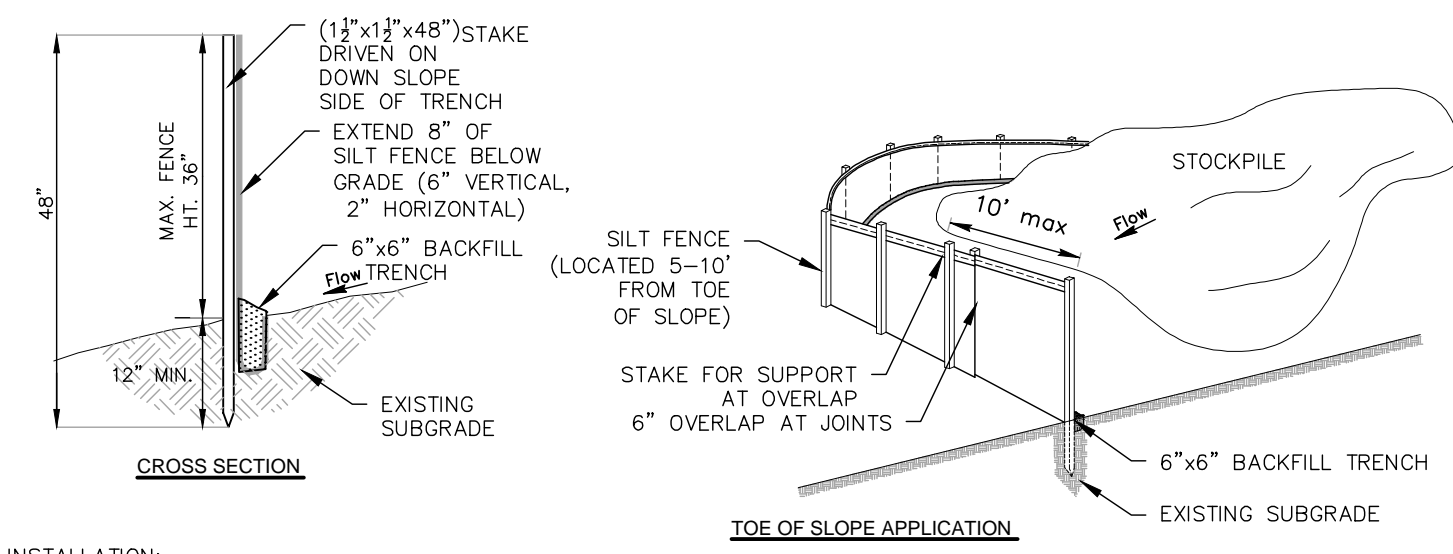
IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, NOTIFYING THE INLAND WETLAND OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.

11. A PRE CONSTRUCTION CONFERENCE WITH THE WETLANDS ENFORCEMENT OFFICER AND THE PARTY RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL MUST BE HELD.

12. ANY CHANGES TO THE SUBMITTED PLANS MUST BE RESUBMITTED TO THE PLANNING & ZONING COMMISSION FOR APPROVAL.

13. PRIOR TO THE START OF CONSTRUCTION THE WETLANDS ENFORCEMENT OFFICER SHALL BE NOTIFIED FOR THE INSPECTION OF SEDIMENT & EROSION CONTROLS. SEDIMENT & EROSION CONTROLS INCLUDING CONSTRUCTION ENTRANCE(S) SHALL BE MONITORED THROUGHOUT CONSTRUCTION. CADFILE: 02722-09.DWG

Geotextile Silt Fencing Minimum Requirements		
Physical Property	Test Method	Minimum Requirements
Filtering efficiency	ASTM 5141	75% (min)
Grab tensile strength (lbs.)	ASTM D4632	100 lbs.
Elongation at failure	ASTM D4632	15%
Mullen burst strength	ASTM D3786	250 psi
Puncture strength	ASTM 4833	50 lbs.
Apparent opening size	ASTM D4751	no less than 0.90mm & no greater than 0.60mm
Flow rate	ASTM D4491	0.2 gal./ft <sup>2</sup> /min.
Permeability	ASTM D4491	0.05 sec.-1 (min)
Ultraviolet radiation stability %	ASTM D4355	70% after 500 hours of exposure (min.)



- INSTALLATION:**
- LOCATE AS NECESSARY FOR APPLICATION. (SEE DIAGRAM)
  - EXCAVATE TRENCH TO A MINIMUM OF 6" DEEP BY 6" WIDE ON UP SLOPE SIDE OF FENCE FOR SLOPES EXTEND TRENCH UP SLOPE AT BOTH ENDS OF THE FENCE TO PREVENT WATER FROM RUNNING AROUND. ENCLOSE CATCH BASINS IN DEPRESSIONS, CUTTING FABRIC ON THE BOTTOM CORNERS 4" IN TO ALLOW FABRIC TO LAY FLAT AROUND CORNERS.
  - DRIVE HARDWOOD STAKES (1 1/2"x1 1/2"x48") ON DOWN SLOPE SIDE OF FENCE AT A MAXIMUM SPACING OF 10', OR CLOSER WHEN CONCENTRATED FLOWS ARE ANTICIPATED.
  - STAPLE OR SECURE FENCE TO STAKES PER MANUFACTURERS INSTRUCTIONS SUCH THAT AT LEAST 6" OF FABRIC LAYS WITHIN TRENCH.
  - PLACE FABRIC JOINTS AT STAKES WITH A 6" OVERLAP OF FABRIC.
  - BACKFILL & COMPACT TRENCH.

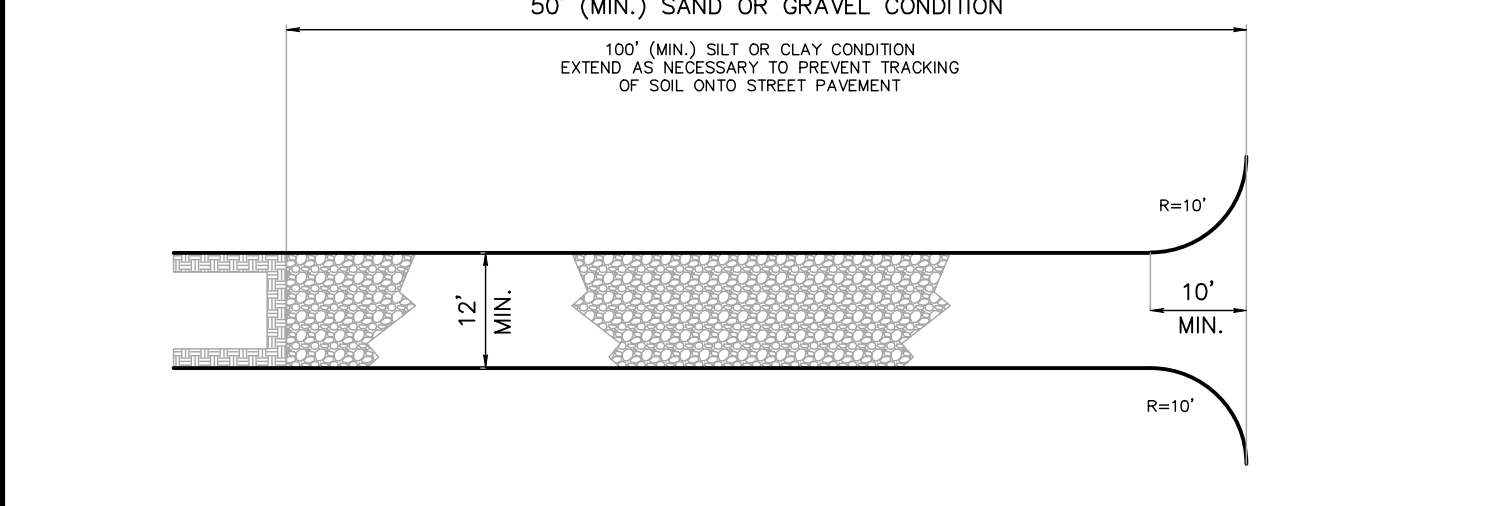
**PLACEMENT & CONSTRUCTION SILT FENCE (FILTER FENCE)**  
n.t.s. CADFILE:02722-11.DWG

**CONSTRUCTION ENTRANCE**

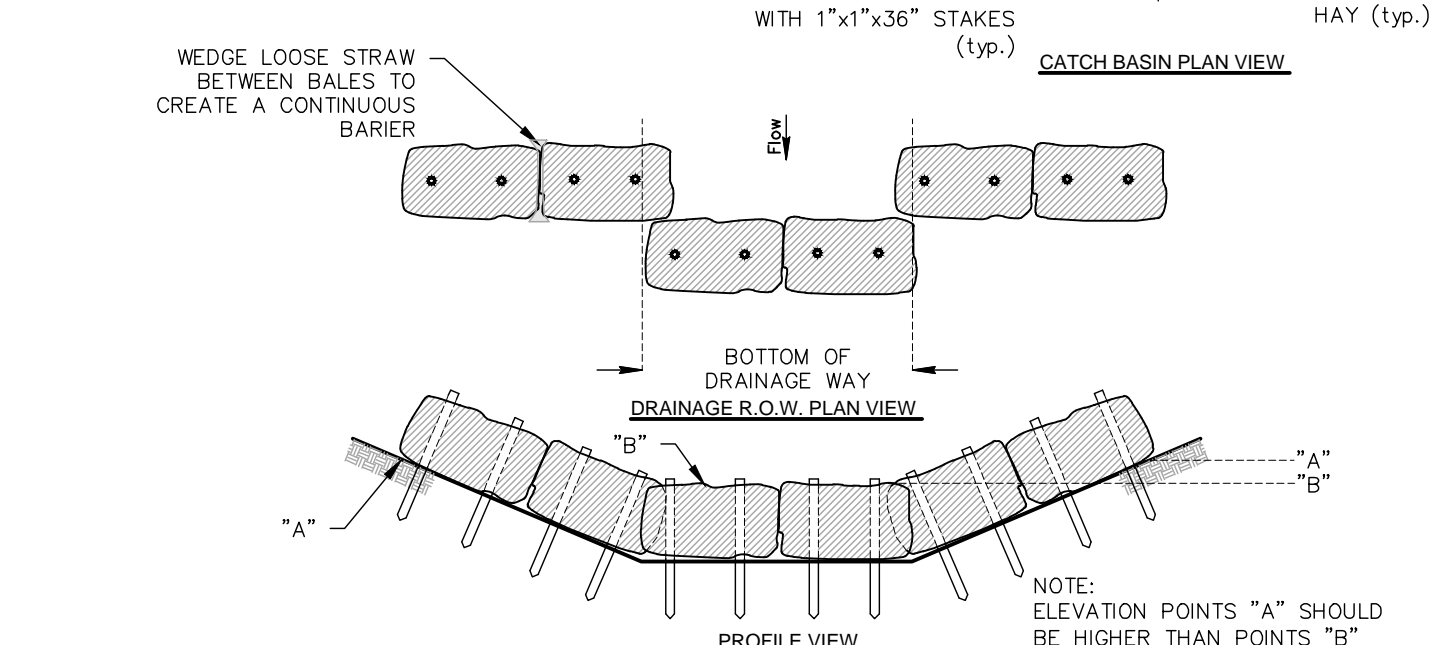
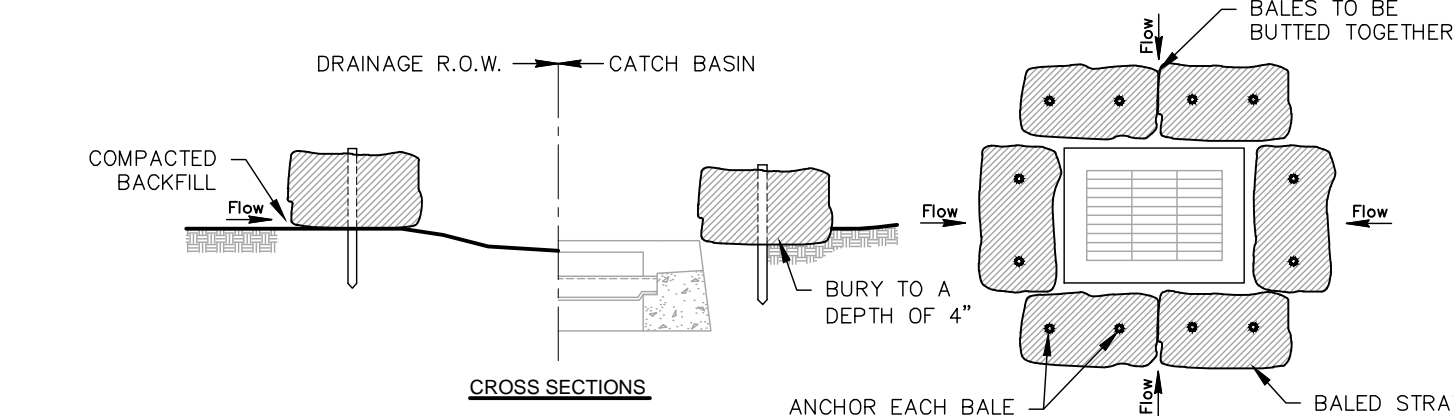
DEFINITION: AN ENTRANCE TO THE SITE SPECIFICALLY DESIGNED TO REDUCE THE AMOUNT OF SEDIMENT TRACKED SITE BY VEHICLES.

APPLICATION:

- A - LOCATED WHERE CONSTRUCTION VEHICLES ENTER AND LEAVE WORK SITE ONTO PUBLIC ROAD
- B - REDUCES BUT MAY NOT ELIMINATE NEED FOR STREET SWEEPING
- C - FOR SANDY OR GRAVELLY SOIL ON SITE, MINIMUM LENGTH IS 90'. FOR SILTY OR CLAY SOILS ON SITE MINIMUM IS LENGTH IS 100'
- D - PLAN TO MAKE STONE AVAILABLE FOR MAINTENANCE OF ENTRANCE

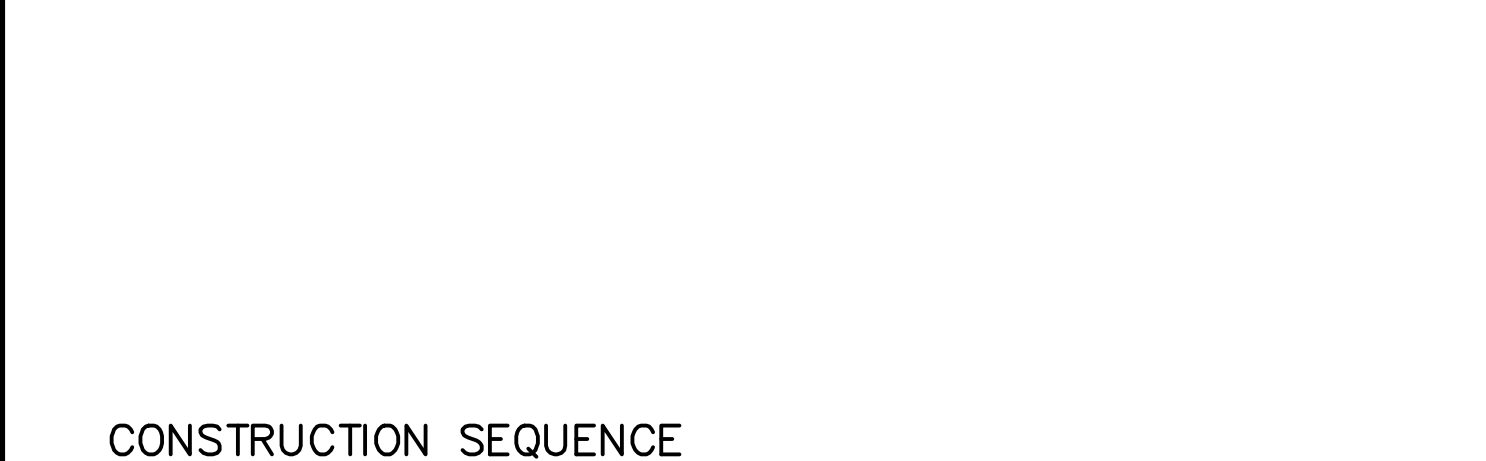


**PLACEMENT AND CONSTRUCTION OF A STABILIZED CONSTRUCTION ENTRANCE**  
n.t.s. CADFILE: 02722-16A.DWG



**PLACEMENT & CONSTRUCTION STRAW/HAY BALE BARRIER**  
n.t.s. CADFILE:02722-10A.DWG

- CLEAR AND GRUB TREES AND VEGETATION IN CONSTRUCTION AREA.
- LOCATE AND INSTALL SILT FENCING AS INDICATED ON SOIL EROSION AND SEDIMENT CONTROL PLAN.
- CONSTRUCT TEMPORARY SEDIMENT BASIN (AS NECESSARY).
- PROCEED WITH ROUGH GRADING OF DRIVEWAYS AND/OR ACCESS POINTS.
- STOCKPILE AREAS (IF REQUIRED) TO BE APPROPRIATELY LOCATED AND PROTECTED.
- INSTALL STORMWATER MANAGEMENT FEATURES AS INDICATED ON PLANS.
- INSTALL PROTECTION FOR INTERNAL DRAINAGE STRUCTURES WITH HAYBALES PRIOR TO BECOMING OPERABLE.
- STABILIZE ALL SLOPES AS GRADING PROGRESSES.
- PROCEED WITH BUILDING CONSTRUCTION.
- ESTABLISH PERMANENT VEGETATIVE COVER.
- REMOVE CONTROL MEASURES AND DISPOSE OF SILTATION ONCE PERMANENT STABILIZATION HAS OCCURRED BY THE CITY ENGINEER OR OTHER DESIGNATED AUTHORITY.



**CONSTRUCTION SEQUENCE**  
n.t.s. CADFILE: 02722-17.DWG

- ALL PROPOSED PLANTING AREAS SHALL BE DESIGNATED OFF LIMITS TO HEAVY MACHINERY AND REPEATED VEHICULAR ACTIVITY. NON-COMPLIANCE TO THIS REQUIREMENT MAY CAUSE SOIL COMPACTION AND BREAKDOWN OF THE SOIL STRUCTURE. SHOULD INTRUSION INTO THE OFF LIMITS OCCUR, THE CONTRACTOR MAY BE REQUIRED TO REMOVE THE COMPACTED SOILS AND REPLACE WITH THE APPROVED MIX.
- BOTANICAL NAMES SHALL PREVAIL OVER COMMON NAMES.
- NO PLANT SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN OR AS OTHERWISE SPECIFIED. NO CONSTRUCTED BALLS SHALL BE ACCEPTED.
- ALL PLANT MATERIALS SHALL BE PLACED, OR LOCATIONS STAKED, ON THE SITE AS SHOWN ON THE PLANTING PLAN PRIOR TO COMMENCEMENT OF PLANT EXCAVATION FOR THE LANDSCAPE ARCHITECT'S APPROVAL. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT OF ALL PLANTING OPERATIONS A MINIMUM OF 24 HOURS IN ADVANCE BY CALLING (203) 799-1400.
- ALL PLANT MATERIALS ARE TO BE SET WITH THE TOP OF THE ROOT BALL EVEN WITH THE FINISHED GRADE.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED, AND SHALL CONTINUE UNTIL ACCEPTANCE. PLANTS SHALL BE WATERED, REMULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL ACCEPTANCE OF WORK. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SAUCER RESTORED, AND DEAD MATERIAL REMOVED. GUYS SHALL BE TIGHTENED AND REPAIRED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT WHEN WEATHER AND SEASON PERMIT. UPON COMPLETION OF PLANTING AND PRIOR TO ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE EXCESS SOIL AND DEBRIS AND REPAIR ANY DAMAGE RESULTING FROM PLANTING OPERATIONS. DANGEROUS CONDITIONS SHALL BE REPAIRED IMMEDIATELY.
- UPON COMPLETION OF ALL LANDSCAPE OPERATIONS AN INSPECTION WILL BE MADE TO DETERMINE THE ACCEPTABILITY OF THE JOB. AT THIS TIME, A ONE YEAR GUARANTEE PERIOD SHALL BEGIN, TO BE CULMINATED BY A FINAL INSPECTION. IMMEDIATELY PRIOR TO FINAL INSPECTION, UNLESS OTHERWISE DIRECTED, THE CONTRACTOR SHALL REMOVE EXCESS SAUCERS, HOSE, GUY WIRES, WRAPPING MATERIAL AND STAKES. ONLY THOSE MATERIALS FOUND TO BE ALIVE AND IN A VIGOROUS, HEALTHY CONDITION AT THAT TIME WILL BE GRANTED FINAL ACCEPTANCE. ALL OTHER MATERIALS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY FOR DECISION.
- SEED ALL DISTURBED AREAS. GRASS SEED SHALL BE FRESH, CLEAN, NEW CROP SEED COMPOSED OF THE FOLLOWING VARIETIES MIXED IN THE PROPORTIONS BY WEIGHT SHOWN AND TESTING THE MINIMUM PERCENTAGE OF PURITY AND GERMINATION:

TYPE I	% BY WEIGHT	TYPE II	% BY WEIGHT
PERENNIAL RYE	25%	F-31 TALL FESCUE	80%
KENTUCKY BLUEGRASS	25%	ANNUAL RYEGRASS	20%
CREeping RED OR PENNLAWN FESCUE	50%		

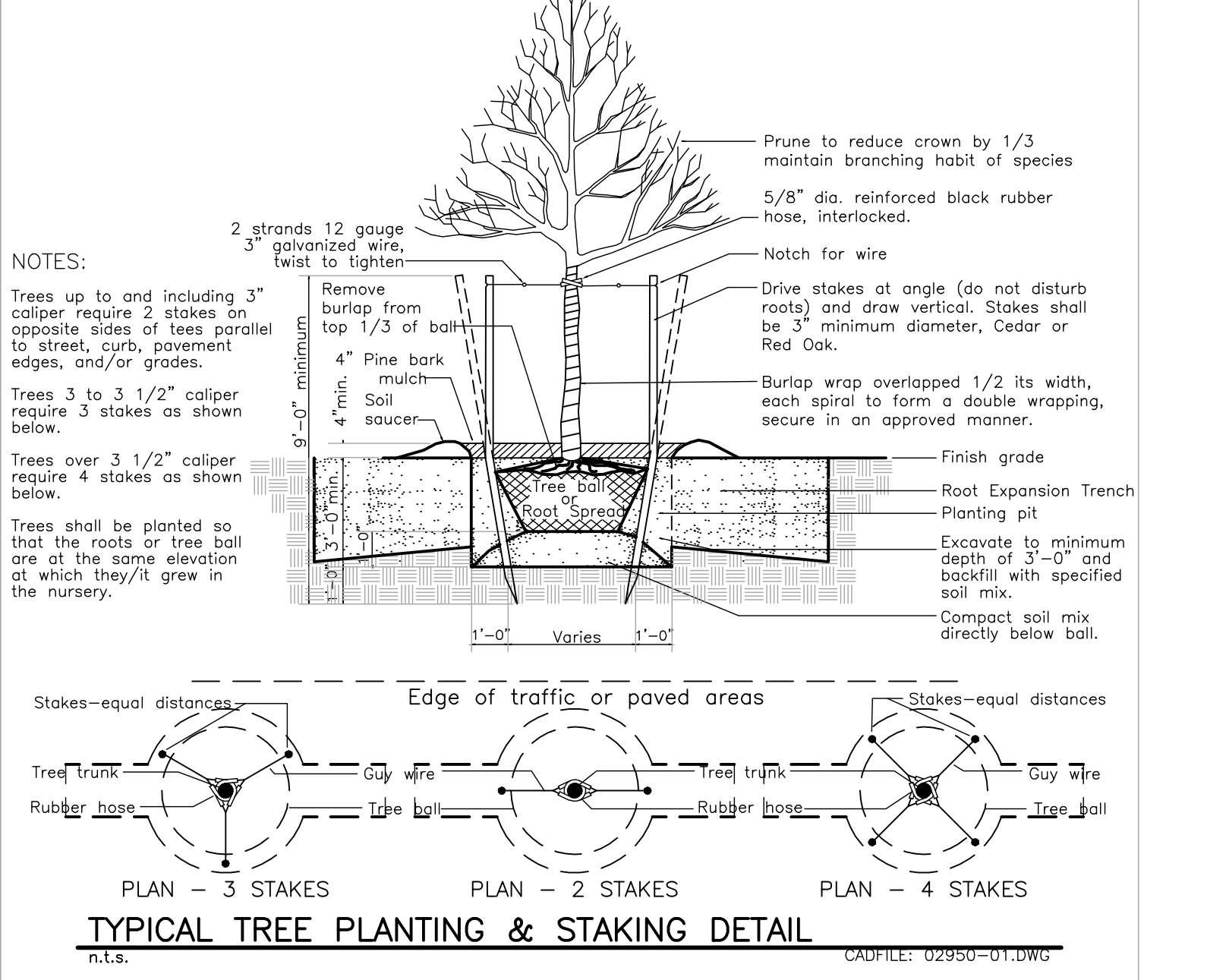
- SEEDING OF LAWN AREAS SHALL BE AT THE RATE OF AT LEAST 5 LBS. PER 1,000 SQUARE FEET. ALL LAWN AREAS SHALL BE TYPE I MIX UNLESS OTHERWISE DESIGNATED.
- ALL NEW LAWN AREAS SHALL BE MULCHED WITH HAY OR EQUAL AS APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL LAWN AREAS SHALL BE FURNISHED WITH A COMPLETE FERTILIZER, AT LEAST HALF OF THE NITROGEN OF WHICH IS DERIVED FROM A NATURAL ORGANIC SOURCE. IT SHALL BE OF A 1:1:1 RATIO IN THE SPRING USING A MINIMUM ANALYSIS OF 10:10:10 AND A 1:2:1 RATIO IN THE FALL USING A MINIMUM ANALYSIS OF 5:10:5.
- PLANTING SOIL MIX SHALL CONSIST OF 5 PARTS TOPSOIL (OR EXCAVATED SOIL IF APPROVED BY THE LANDSCAPE ARCHITECT), ONE PART "BOVUNG" DEHYDRATED COW MANURE, AND ONE PART, GAP-GRADED SAND.
- SHRUB BEDS OF HIGH VISIBILITY ARE TO BE TOPPED WITH A 3" LAYER OF PINE BARK MULCH.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, NO COLLECTED MATERIALS SHALL BE ACCEPTED.
- PLANTS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS IN ALL WAYS INCLUDING DIMENSIONS.
- ALL PLANTS ARE TO BE APPROVED AND/OR TAGGED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT ANY PLANT MATERIALS UPON DELIVERY TO THE PROJECT. SELECTION BY THE LANDSCAPE ARCHITECT DOES NOT WAIVE THE RIGHT OF REJECTION.
- QUANTITIES SHOWN ON CONTRACT DRAWINGS TAKE PRECEDENCE OVER PLANT MATERIALS LIST. PLANT MATERIALS SHALL BE FURNISHED AND PLANTED AS SPECIFIED. ANY DEVIATION FROM THESE SPECIFICATIONS WILL BE REJECTED.
- ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST, OR AS IS NECESSARY TO MATCH SURVIVING PLANTS OF THE SAME PLANTING GROUP. ALL COSTS SHALL BE BORNE BY THE LANDSCAPE CONTRACTOR EXCEPT FOR THE REPLACEMENTS RESULTING FROM LOSS OR DAMAGE DUE TO VANDALISM OR ACTS OR NEGLIGENCE ON THE PART OF OTHERS, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, FIRE, ETC., AS MAY BE DETERMINED BY THE LANDSCAPE ARCHITECT.
- ALL LAWN AREAS SHALL BE TOP DRESSED AND FINE GRADED WITH SIX INCHES OF TOPSOIL SO AS TO ALLOW FOR COMPACTION.

**PLANTING NOTES**  
n.t.s. CADFILE: 02950-04.DWG

AGENCY SUBMISSION DRAWINGS  
NOT FOR CONSTRUCTION

- ALL PROPOSED PLANTING AREAS SHALL BE DESIGNATED OFF LIMITS TO HEAVY MACHINERY AND REPEATED VEHICULAR ACTIVITY. NON-COMPLIANCE TO THIS REQUIREMENT MAY CAUSE SOIL COMPACTION AND BREAKDOWN OF THE SOIL STRUCTURE. SHOULD INTRUSION INTO THE OFF LIMITS OCCUR, THE CONTRACTOR MAY BE REQUIRED TO REMOVE THE COMPACTED SOILS AND REPLACE WITH THE APPROVED MIX.
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KENTUCKY BLUEGRASS	25%	ANNUAL RYEGRASS	20%
CREeping RED OR PENNLAWN FESCUE	50%		



**TYPICAL TREE PLANTING & STAKING DETAIL**  
n.t.s. CADFILE: 02950-01.DWG

BY  
REVISIONS  
XXXX

PROPOSED SITE DEVELOPMENT PLANS  
HIGHLAND ESTATES  
FOR NICHOLAS MARLOW et al  
#535-543 PLAINS ROAD  
MILFORD CONNECTICUT

CODESPOTI & ASSOCIATES P.C.  
263 BOSTON POST ROAD, SUITE 5  
ORANGE, CONNECTICUT 06477  
TEL: 203-799-0011  
FAX: 203-799-0011

PROPOSED SITE DEVELOPMENT PLANS  
HIGHLAND ESTATES  
FOR NICHOLAS MARLOW et al  
#535-543 PLAINS ROAD  
MILFORD CONNECTICUT

EROSION & LANDSCAPE DETAILS

DWG #	04466	CHECKED	CONNECTICUT
CAD FILE	4478-Det	CAD VER	C302014
DATE	09/29/21	SCALE	
AS NOTED		JOB NO.	4478
		SHEET	SP8





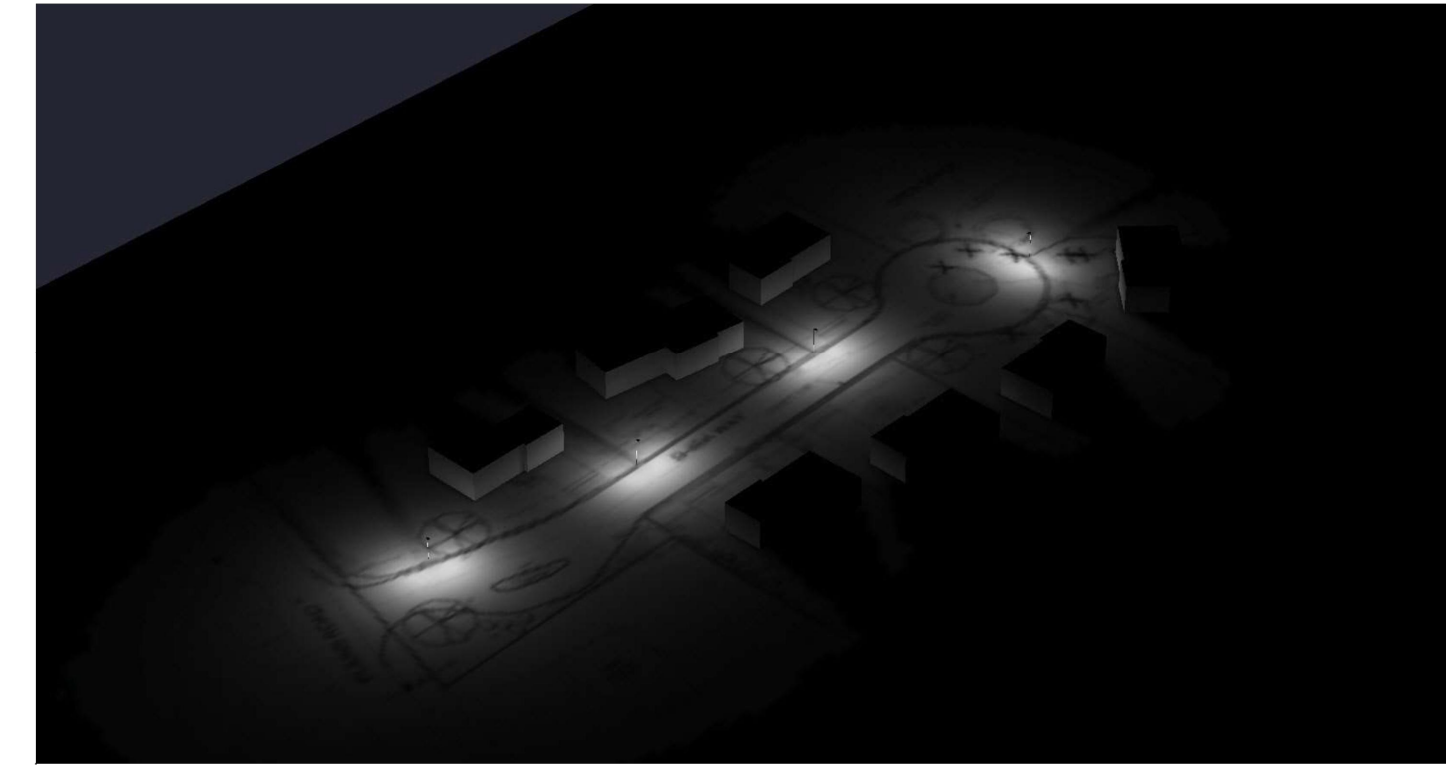


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Ground	Illuminance	Fc	0.12	3.1	0.0	N.A.	N.A.	Readings Taken @ 0'-0" AFG	10	10	Horizontal
Street	Illuminance	Fc	0.56	3.1	0.0	N.A.	N.A.	Readings Taken @ 0'-0" AFG			

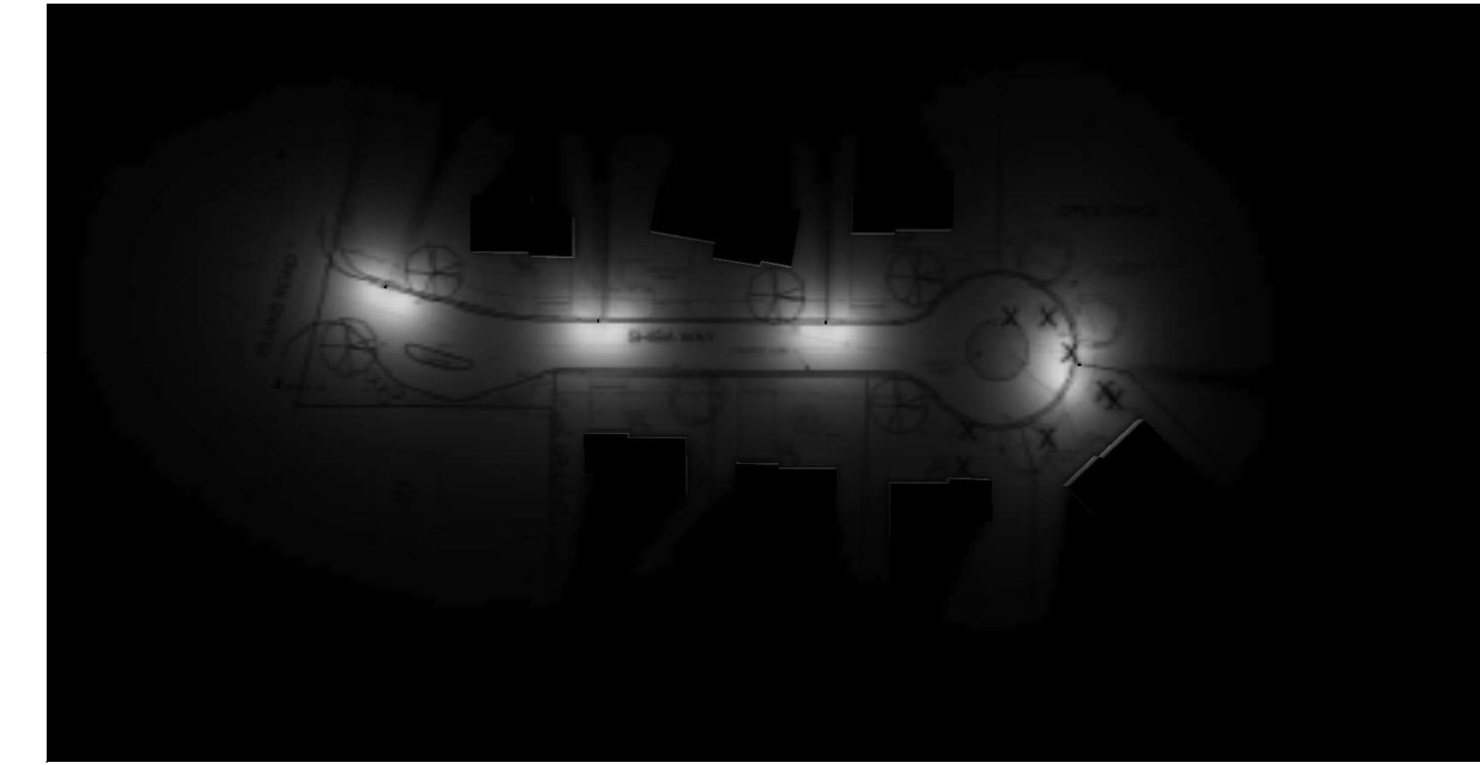
Symbol	Qty	Tag	Label	Arrangement	LLF	Description	BUG Rating
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Tag	X	Y	MH	Orient	Tilt
A	217.676	424.755	15	248.895	0
A	328.488	407.148	15	270	0
A	447.192	406.239	15	270	0
A	578.892	383.825	15	174.29	0

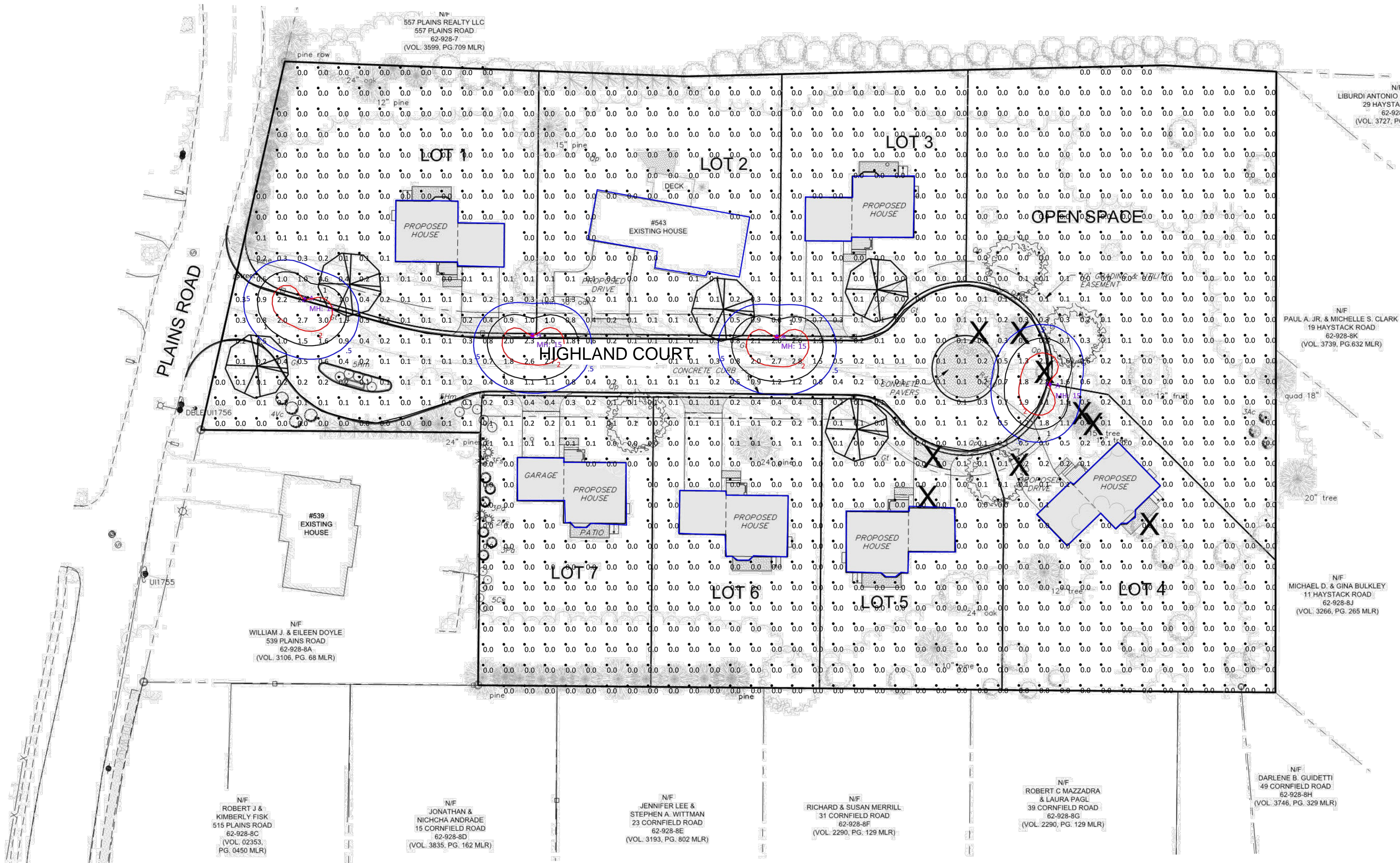
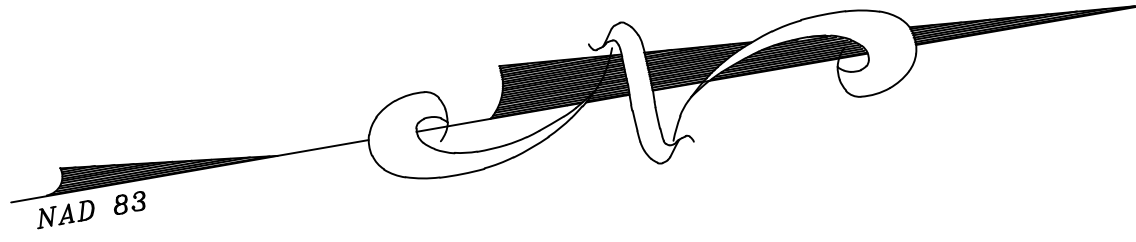
Total Quantity: 4



Render Image - Side View

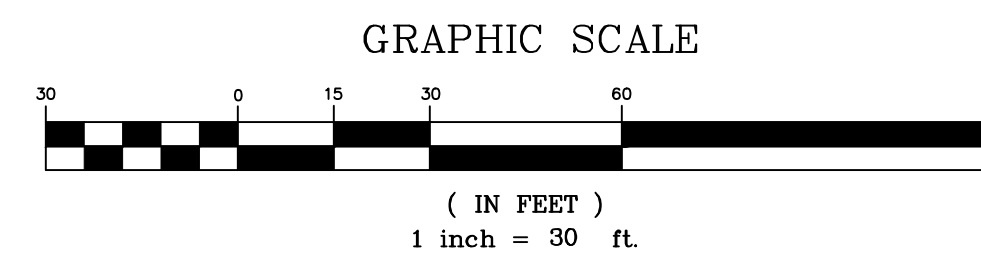


Render Image - Top View



NOTES:

- \* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLF is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.
- \* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.
- \* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of Holbrook-Associated.
- \* Mounting height determination is job site specific, our lighting simulations assume a mounting height (mounting point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
- \* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.
- \* The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.
- \* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the Holbrook-Associated lighting design model. Holbrook-Associated is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.
- \* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.



AGENCY SUBMISSION DRAWINGS  
NOT FOR CONSTRUCTION

REVISIONS	BY
#####	

PROPOSED SITE DEVELOPMENT PLANS  
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PROPOSED SITE DEVELOPMENT PLANS  
HIGHLAND ESTATES  
FOR NICHOLAS MARLOW et al  
#535-543 PLAINS ROAD  
MILFORD CONNECTICUT

LIGHTING PLAN

DWG #	CHECKED
D4466	CONNECTICUT
CAD FILE	CAD VER
4478-Landscape	C3D2014
DATE	
08/04/21	
SCALE	
1" = 30'	
JOB NO.	
4478	
SHEET	
SP10	

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I:\DCS\Shared\Autocad Projects\CH20\144478-543 Plains Road.dwg, 2/12/22 10:29:46 AM, Jm1, 1:1