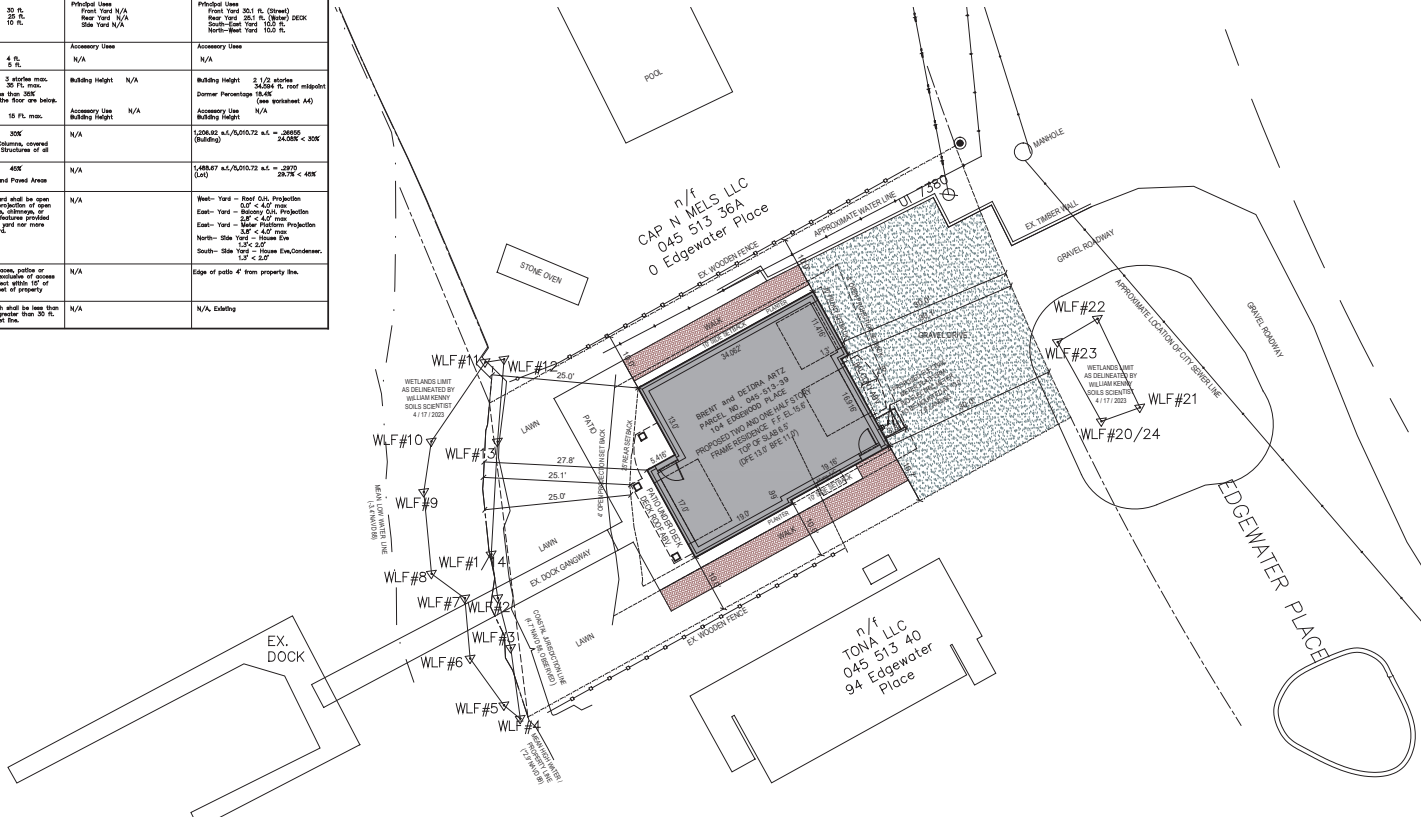


ZONING DATA		Map 045 Block 513 Lot 39 Zone R-12.5 104 Edgewater Place, Milford CT Site Area = 5,010.72 s.f. (0.115 Acres)	
	REQUIRED	EXISTING	PROPOSED
3.1 One Family Residential District			
3.1.1 Permitted Use	One Family Detached Dwelling 300 sq. ft. gross floor area 900 sq. ft. total floor area	Existing Building, Deck and Garage Structures To Be Removed	Single Family Residence 1,071.07 sq. ft. floor footprint area 2,430.21 sq. ft. total floor area
3.1.4.1 Min. Lot Requirements	Area 15,000 sq. ft. Front Yard 80' ft. Rear Yard 100' ft. Depth 100' ft.	Area 6,070.72 sq. ft. Front Yard 80.00' ft. min. Rear Yard 80.700' ft. min.	Area 6,070.72 sq. ft. Front Yard 80.00' ft. Rear Yard 80.700' ft. min. Depth 80.700' ft. min.
	Principal Uses Front Yard 20' ft. Rear Yard 25' ft. Side Yard 10' ft.	Principal Uses Front Yard N/A Rear Yard N/A Side Yard N/A	Principal Uses Front Yard 30' ft. (Street) Rear Yard 30' ft. (Water) DECK South-East Yard 10.0' ft. North-West Yard 10.0' ft.
	Accessory Uses Site Yard 4' ft. Rear Yard 5' ft.	Accessory Uses N/A	Accessory Uses N/A
Building Requirements	Building Height 3 stories max. 30' ft. max.	Building Height N/A	Building Height 3 1/2 stories 36.00'
	Corner Roofs Less than 30% of the floor area below.	Accessory Use Building Height N/A	Corner Percentage 15.4% (See resistant A4)
	Building area in 9' x 10' area (Divided by Walls, Columns, covered Porches and Recessed Structures at all Buildings)	Accessory Use Building Height N/A	1,006.82 sq. ft./5,010.72 sq. ft. = 20.09% 24,000 < 30%
	Lot coverage (Building/Structures and Paved Areas Other than Driveway)	Accessory Use Building Height N/A	1,488.67 sq. ft./5,010.72 sq. ft. = 29.72% (34)
3.1.4 Projections into Required Yard	Roofs of any ramp, porch shall be open sided, or ordinary projection of open sided, shall be limited to 3 feet maximum. Structural members protrude projected of this max. and no more than 20% of max. depth.	N/A	West- Yard - Roof Over Projection 0.0' < 4.0' max. East- Yard - Signage Projection 0.0' < 4.0' max. East- Yard - Solar Platform Projection 3.5' < 4.0' max. North- Side Yard - House Eave 1.2' < 2.0' max. South- Side Yard - House Eave/Condenser 1.2' < 2.0'
3.1.5 Paved Area	Open, uncovered terraces, patios or other paved areas within 10 feet of street line or that front of property line.	N/A	Edge of path 4' from property line.
3.1.11.1 Access Driveway	No driveway approach shall be less than 10' ft. in width for greater than 50' ft. in width at the street line.	N/A	N/A, Existing



SITE PLAN
SCALE: 1" = 10'-0"

ALL SITE INFORMATION AS TAKEN FROM CLASS A-2 SURVEY.
PREPARED BY RONALD W. WASSMER, C.C.S., P.L.S., L.S. #16975.
EXISTING CONDITIONS SURVEY, EX-1, DATED MAY 1, 2023.

CRAWL SPACE AREA FLOOD VENT CALCULATIONS	
FLOOD ZONE:	AE-11 PER 2017 FIRM MAPS
FOUNDATION AREA:	OVERALL GROSS = 1077.07 sq. ft. BUILDING NET = 899.67 sq. ft.
REQUIRED OPENING AREA: (R 323.2.2)	1 Net Sq. in. Opening / 1 Net Sq. Ft. 866.67 sq. ft. = 899.67 net sq. in. required
VENT OPENING PROVIDED: SMART VENT Inc. #1540-520	899.67 sq. ft. / 200 sq. ft. = 4.49 VENTS, USE 5 VENTS.
INSULATED S.S. FLOOR COVERING AREA=200sq. ft. SINGLE 16" w. x 8" h. x 3' d.	

REVISED	
No.	DATE
1	7-19-2023 - Design
2	8-7-2023 - Site Existing Conditions
3	8-10-2023 - Electric Meter Platform
4	12-12-2023 - Zoning Compliance Rev

SUBMITTED	
No.	DATE
1	9-18-2023 Wetlands Application



All reports, plans, specifications, computer files, field data, notes and other documents used in the preparation of this plan are the property of the Consultant and instruments of service shall remain the property of the Consultant. The Consultant shall retain all common law, statutory and other professional rights, including, without limitation, the copyright therein.

DATE	02/13/2023
SCALE	AS SHOWN
DRAWN	JAW
CHECKED	JAW

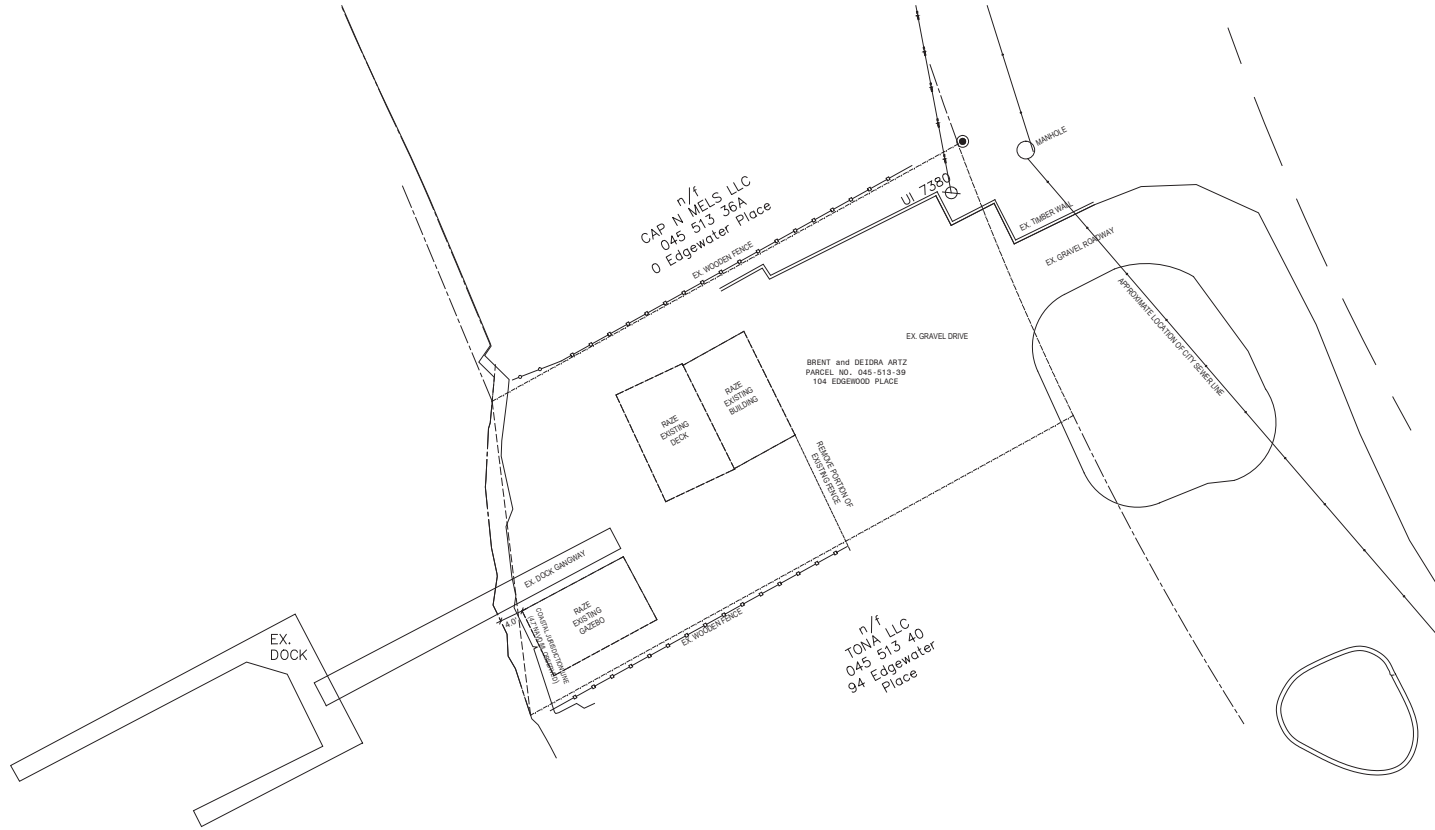
Artz Residence
104 Edgewater Place, Milford, CT
Project for
Milford, CT 06460

SITE PLAN

JOHN A. WICKO
ARCHITECT
LLC

PROJECT: STREET: 104 EDGEMOOR CT, MILFORD, CT 06460

SP1



1 SITE DEMOLITION PLAN
SCALE: 1" = 10' 4"

REVISED

No.	DATE
1	7-19-2023 - Design
2	8-7-2023 - Site Existing Conditions
3	8-10-2023 - Electric Meter Platform
4	12-12-2023 - Zoning Compliance Revw

SUBMITTED

No.	DATE
1	9-18-2023 Wetlands Application



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NO.	DATE
048	02/20/23
DATE	07/13/2023
SCALE	AS SHOWN
DRAWN	JAW
CHECKED	JAW

Artz Residence
104 Edgewater Place, Milford, CT
Prepared For:
Milford, CT 06460

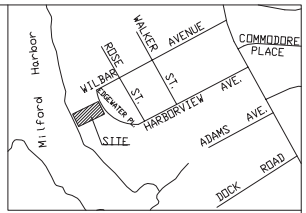
SITE DEMOLITION PLAN

JOHN A. WICKO
ARCHITECT
LLC

60 PROPECT STREET, MILFORD, CT 06460 (203) 874-6200

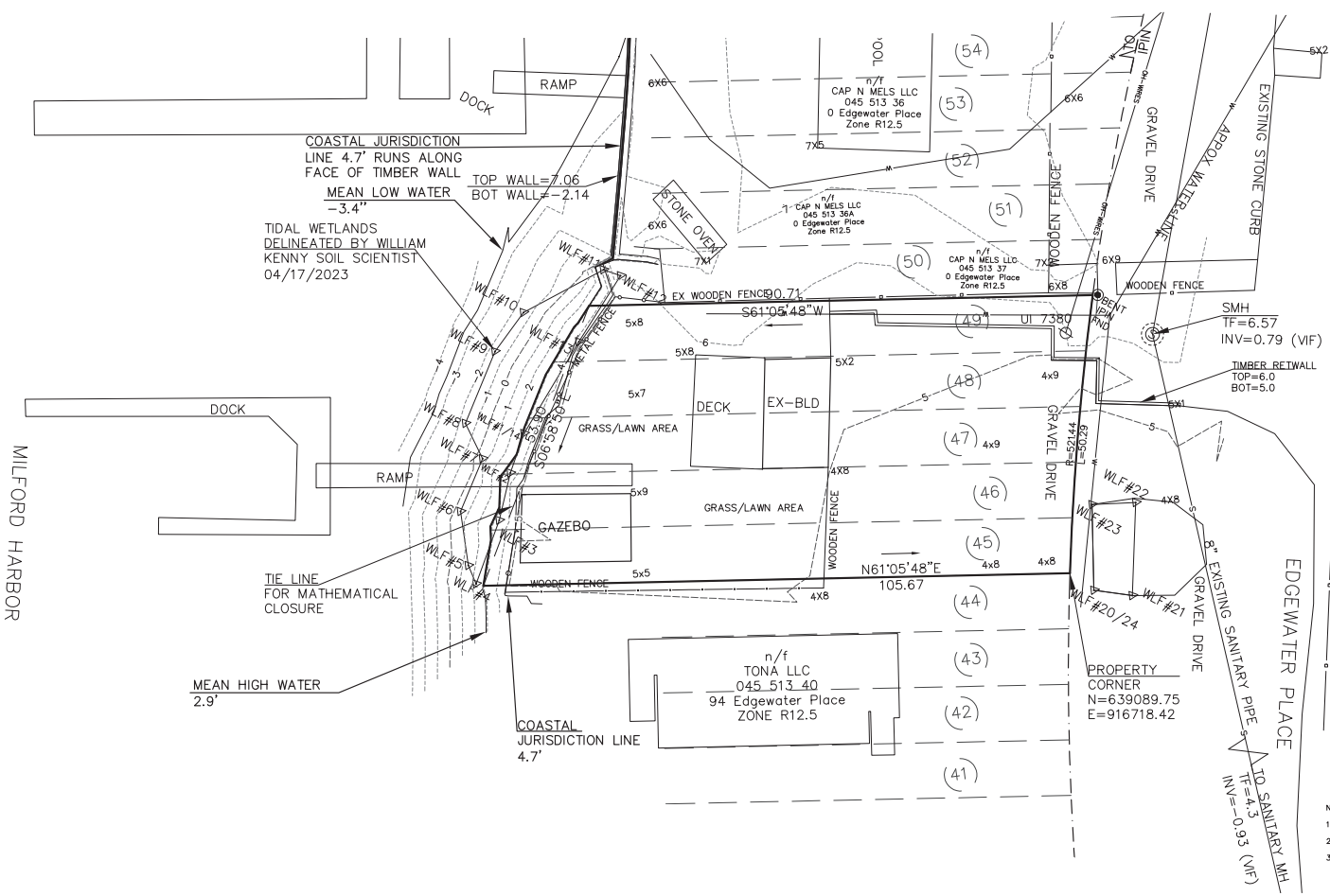


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LOCUS MAP SCALE 1"=400'
MAP 045 BLOCK 513 PARCEL 39

- LEGEND**
- LD LEADER DRAIN
 - LIGHT POLE
 - CATCH BASIN, TYPE "CL"
 - CATCH BASIN, TYPE "C"
 - STORM SEWER MANHOLE
 - SANITARY SEWER MANHOLE
 - DW DRY WELL
 - GAS
 - GAS VALVE
 - WATER
 - WATER VALVE
 - WATER SHUTOFF
 - PROPOSED HYDRANT
 - EXISTING HYDRANT
 - 25 EXISTING CONTOUR (typ.)
 - TREE
 - SHRUB
 - MON
 - IRON PIPE
 - IRON PVI
 - STONEWALL
 - STOCKADE FENCE
 - CHAIN LINK FENCE
 - PERC TEST
 - DEEP TEST PIT
 - WELL
 - WETLAND FLAG
 - 14x9 EXISTING SPOT GRADE
 - 14x9 PROPOSED SPOT GRADE
 - VF VERIFY IN FIELD



- NOTES:**
- The Total Area of the Parcel is 5011 sq. ft. .11 Acres.
 - The Parcel is in Zone R12.5
 - Map References:
 - A. Map entitled, "Map of Walker Manor, Milford, Connecticut, Dated, June 10, 1924"
 - B. Map on File in MLR Map #R-12.
 4. Deed Reference:
 - Volume 2719 Page 65
 5. The Parcel is in Flood Zone Ae 11 as scaled from FIRM, City of Milford, New Haven County, Panel 533 of 635, Community Panel Number 09009C05333, Map revised 07/08/2013 .
 6. North Rotation is based on NAD83.
 7. Vertical Datum is based on NAVD 1988.
 8. Wetlands delineated on April 17, 2023 By, William Kenny Associates
 9. The property lies within the Coastal Management Area
 - The Coastal Resources onsite are: Tidal Wetlands, Coastal Flood Hazard Area and Developed Shorefront
 - The Coastal Resources Adjacent are: Coastal Flood Hazard Area, Tidal Wetlands, Developed Shorefront
 - Freshwater Wetlands and Estuarine Embayments

NOTES:

This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-306b-1 through 20-306b-20 and the "Standards for Survey and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.

It is a Property Survey based upon a Dependent Resurvey and is intended to depict the locations of all boundary measurement found or set, relationships improvements and features to the boundary, record easements, means of ingress and egress, lines of occupation, deed restrictions, conflicts, and encroachments.

This survey conforms to Horizontal Accuracy Class A-2.

To my knowledge and belief, this map is substantially correct as noted herein.

Date: August 9, 2023
 Prepared by: [Signature]
 Reviewed by: [Signature]

This survey is not valid unless it bears a live signature and live seal. The word "certify" is understood to be an expression of professional opinion by the land surveyor that is based on his best knowledge, information, and belief. As such, it constitutes neither a guarantee nor warranty, expressed or implied.

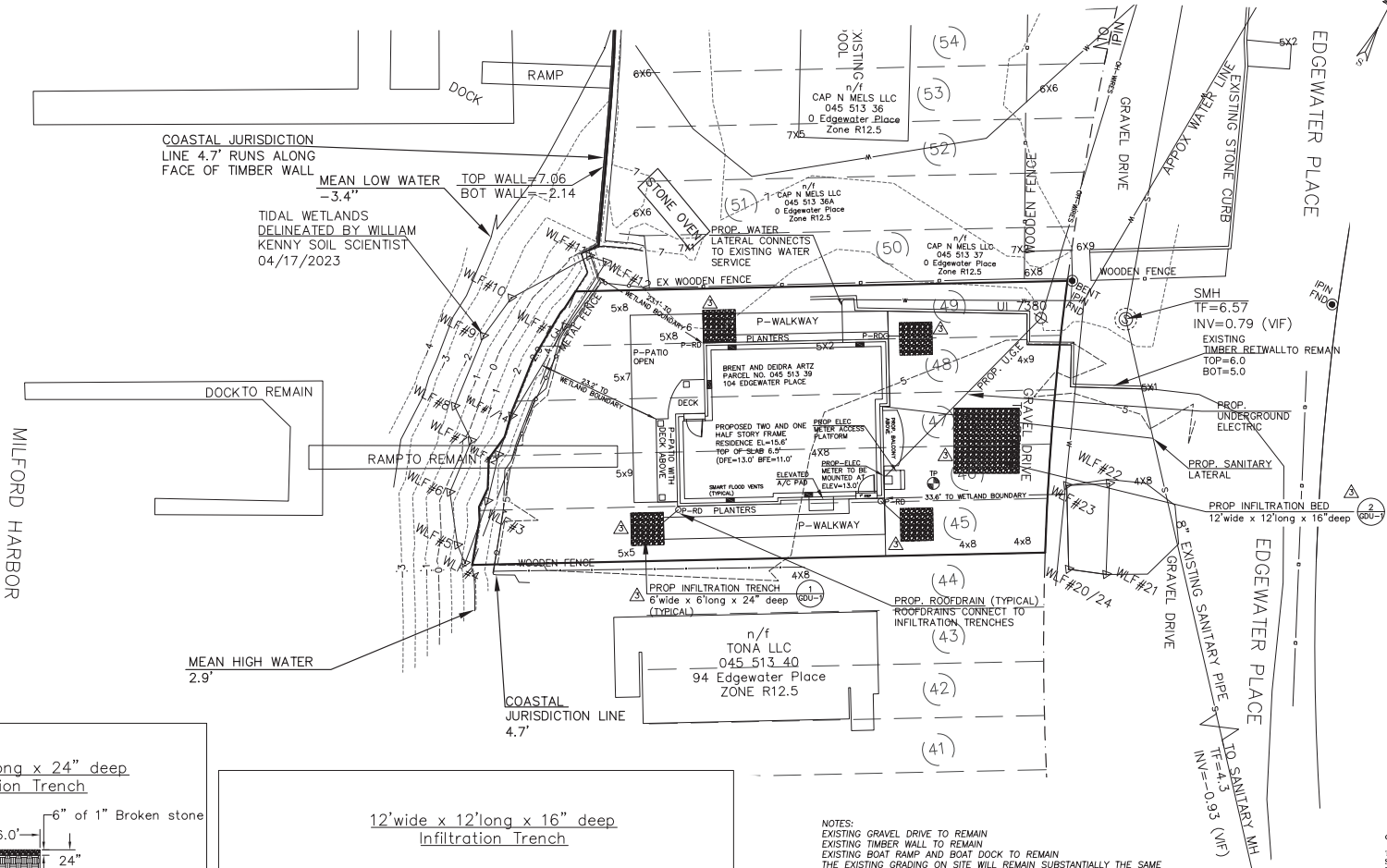
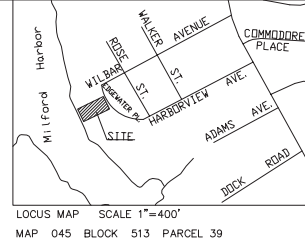


EXISTING CONDITIONS SURVEY				EX-1
PREPARED FOR Brian A. Artz 104 Edgewater Place, Milford, Connecticut				
Date: August 9, 2023	TS: 471	TF: 9	DRAWN BY: RWW	CHECKED: RWW
Scale: 1" = 10'			BOX No: 196	PROJECT No: 2023-009
			DWG No: 2548	SHT 1 of 4

C.C.G. CT CIVIL GROUP, LLC
 Civil & Structural Engineering, Land Surveying
 Designers & Planners
 158 RESEARCH DRIVE, MILFORD, CT 06460
 (203) 874-8316 info@cccivilgroup.com

P:\land info\2023\045\11\Edgewater (Resurvey)\Drawn: 2023-08-09 10:20:45 AM; Edgewater: 2023-08-09 10:20:45 AM; C:\CON\MRT: 2023-08-09 10:20:45 AM; B:\12032\190618.AM: 11

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 - EXISTING HYDRANT
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 - MON
 - IRON PIPE
 - IRON PVI
 - STONEMAN
 - STOCKADE FENCE
 - CHAIN LINK FENCE
 - PERC TEST
 - DEEP TEST PIT
 - WELL
 - △ WETLAND FLAG
 - 14x8 EXISTING SPOT GRADE
 - 15x8 PROPOSED SPOT GRADE
 - VF VERIFY IN FIELD

- CONSTRUCTION NOTES:**
- VERIFY ALL BUILDING DIMENSIONS WITH BUILDING PLAN PRIOR TO CONSTRUCTION
 - CONSTRUCT SILT FENCE AROUND PERIMETER OF LOT
 - INSTALL ANTI-TRACKING PAD
 - CONNECT ROOF DRAINS TO PROPOSED GALLEYS
 - PROPOSED BUILDINGS TO BE CONNECTED TO MUNICIPAL SANITARY SEWER AND WATER
 - ALL WORK WITHIN MUNICIPAL STREET TO BE CONDUCTED PER MILFORD PUBLIC WORKS STANDARDS.

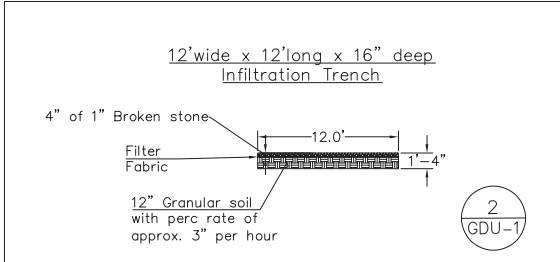
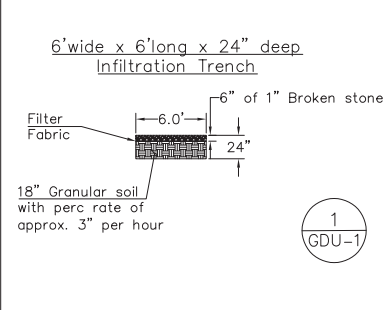
MAINTENANCE AND OPERATION PLAN FOR THE STORM WATER TREATMENT AND INFILTRATION SYSTEM

EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ALL PAVING IS COMPLETED AND LANDSCAPING IS ESTABLISHED.

UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF ALL LANDSCAPING THE DRAINAGE SYSTEM SHALL BE CLEAN OF SEDIMENT AT A MINIMUM OF ONCE PER YEAR EACH SPRING. ALL WATER QUALITY CHAMBERS AND CATCH BASINS SHALL BE CLEANED AT LEAST ANNUALLY (MORE FREQUENTLY IF NECESSARY) BY A LICENSED CONTRACTOR WITH DISPOSAL AT AN APPROPRIATE FACILITY.

ADDITIONAL SEDIMENT REMOVAL SHALL BE CONDUCTED IF NEEDED TO ENSURE THE FUNCTIONALITY OF THE DRAINAGE SYSTEM. THE EXTENT OF THE DRAINAGE SYSTEM IS TO PROVIDE WATER QUALITY MEASURES, PROVIDE GROUNDWATER RECHARGE, MINIMIZE POTENTIAL EROSION OR SEDIMENTATION AND ATTENUATE STORM RUNOFF.

MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO SWEEPING OF THE PAVED AREAS WITH A VACUUM EQUIPPED STREET SWEEPING TRUCK, THE INSPECTION AND CLEANING OF THE WATER QUALITY CATCH BASIN STRUCTURE, THE CATCH BASIN SUMPS, AND THE GALLEY SYSTEM. PARKING LOTS SHOULD BE SWEEP AT LEAST TWICE A YEAR. ANY AREA OF EROSION SHALL BE REPLANTED AND/OR THE LANDSCAPE MATERIALS SHALL BE MODIFIED TO PREVENT EROSION.



NOTES:
 EXISTING GRAVEL DRIVE TO REMAIN
 EXISTING TIMBER WALL TO REMAIN
 EXISTING BOAT RAMP AND BOAT DOCK TO REMAIN
 THE EXISTING GRADING ON SITE WILL REMAIN SUBSTANTIALLY THE SAME

TP DATA
 0-4" BROKEN STONE/GRAVEL
 4-24" COARSE SANDY GRAVEL
 24-36" SILT/CLAY PEAT/MUK DAMP AT 24"

COASTAL RESOURCES ON THE PROPERTY ARE:
 Coastal Flood Hazard Area, Tidal Wetlands, Freshwater Wetlands, and Developed Shorefront

COASTAL RESOURCES LOCATED ADJACENT TO THE PROPERTY ARE:
 Coastal Flood Hazard Area, Tidal Wetlands, Freshwater Wetlands, Developed Shorefront, and Estuarine Embayments

C.C.G. CT CIVIL GROUP, LLC
 Civil & Structural Engineering, Land Surveying
 Designers & Planners
 158 RESEARCH DRIVE, MILFORD, CT 06460
 (203) 874-8316 info@cccgct.com

REVISIONS

NO.	DESCRIPTION	DATE
1	Revised per discussion with OLSP	LML 01/11/2024
2	Revised added Soil Test Pit Data	JD 12/20/2023
3	Revised per Zoning enforcement officer's comments; revised deck	LML 12/13/2023

To my knowledge and belief, this map is substantially correct as noted herein.

DATE: Jan 11, 2024 BY: [Signature]
 Ronald W. Heston, P.E. S.E. CT Lic. No. 16975

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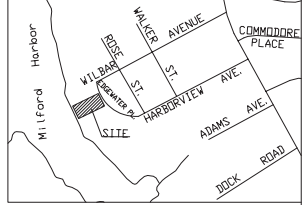


Grading, Drainage, and Utility Plan
 PREPARED FOR
 Brenton Artz
 104 Edgewater Place, Milford, Connecticut

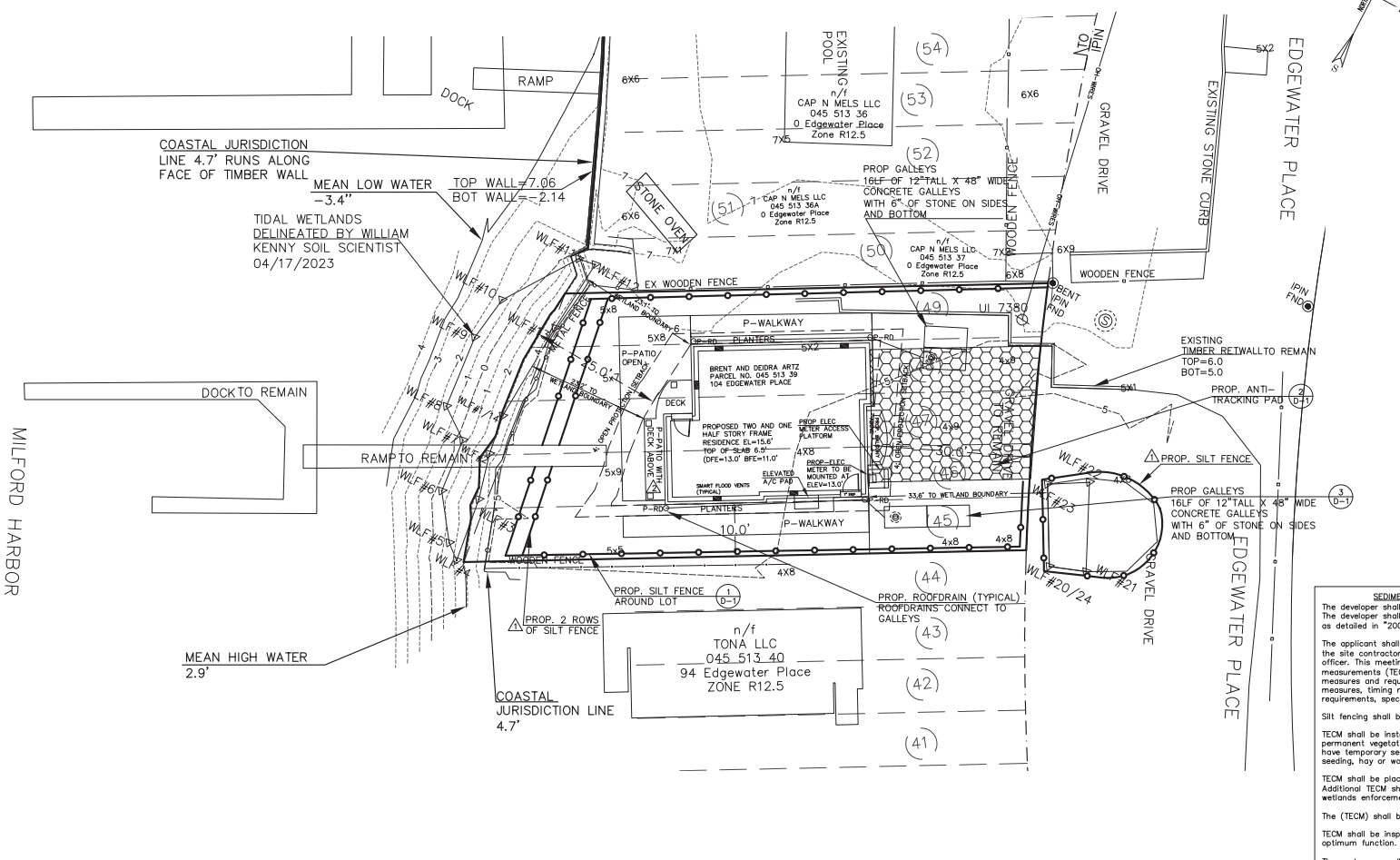
GDU-1

DATE: August 9, 2023 TB 471: TIT: 9 DRAWN BY: RWW CHECKED: RWW
 SCALE: 1" = 10' 10' 20' BOX NO: 196 PROJECT NO: 2023-009
 DWG NO: 2548 SHIT 2 of 4

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LOCUS MAP SCALE 1"=400'
MAP 045 BLOCK 513 PARCEL 39



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 - 14x9 EXISTING SPOT GRADE
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 - WF VERIFY IN FIELD

SEDIMENTATION & EROSION CONTROL NARRATIVE

The developer shall incorporate "Best Management Practices". The developer shall be familiar with all sedimentation and erosion control measures as detailed in "2002 CT Guidelines for Soil Erosion and Sediment Control" (GSECS).

The applicant shall request a preconstruction meeting with the project engineer and the site contractor. The zoning enforcement officer and/or the wetland enforcement officer. This meeting shall establish the requirements for temporary erosion control measures (TECM) and permanent site stabilization requirements. These measures and requirements shall include but not limited to, locations of required measures, timing requirements for implementation, seeding and planting requirements, species, planting dates and fertilizer requirements.

Silt fencing shall be installed as indicated on this plan.

TECM shall be installed on all disturbed areas where it is impractical to establish permanent vegetation. Any area to remain disturbed for more than thirty days shall have temporary seeding installed. TECM shall include but not limited to temporary seeding, hay or wood chip mulch, silt fencing, and hay-bales.

TECM shall be placed at the discretion of the site contractor. Additional TECM shall be installed as required by zoning enforcement officer and/or wetlands enforcement officer.

The (TECM) shall be installed per (GSECS).

TECM shall be inspected daily and repaired or replaced as necessary to ensure optimum function.

The party responsible for TECM is Brenton Artz (203)410-3188.

COASTAL RESOURCES ON THE PROPERTY ARE:
 Coastal Flood Hazard Area, Tidal Wetlands, Freshwater Wetlands, and Developed Shorefront

COASTAL RESOURCES LOCATED ADJACENT TO THE PROPERTY ARE:
 Coastal Flood Hazard Area, Tidal Wetlands, Freshwater Wetlands, Developed Shorefront, and Estuarine Embayments

PROJECT DESCRIPTION & LOCATION

This site currently exists as an developed parcel with a building, gazebo, boat ramp, and dock. The proposed single family house would require construction of one building, and associated infra-structure. The proposed grading onsite is substantially similar to existing grades.

The site is a 0.115 acre site that is generally flat with a low area to the south east of the parcel. It has frontage on one public road (Edgewater Place) and abuts residential properties to the north and south and Milford harbor to the west.

C.C.G. CT CIVIL GROUP, LLC
 Civil & Structural Engineering - Land Surveying
 Designers & Planners
 158 RESEARCH DRIVE, MILFORD, CT 06460
 (203) 874-8316 info@cccgcivilgroup.com

REVISIONS			
△	Revised per Zoning enforcement officer's comments; revised deck	LML	12/13/2023
△	Revised per City Engineer's comments; added add'l silt fence	LML	09/25/2023

To my knowledge and belief, this map is substantially correct as noted herein.

Date: Dec. 13, 2023 By: *[Signature]*
 Ronald W. Wastner, P.E. Lic. No. 16975

This survey is not valid unless it bears a live signature and live seal.

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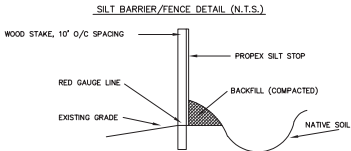
Sedimentation and Erosion Control
 104 Edgewater Place, Milford, Connecticut

DATE: August 9, 2023 TB 471: TIT: 9 DRAWN BY: RWW CHECKED: RWW
 PROJECT No.: 2023-009
 BOX No.: 196
 DWG No.: 2548 SHIT 3 of 4

Scale: 1" = 10' 10' 10' 20'

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D-1



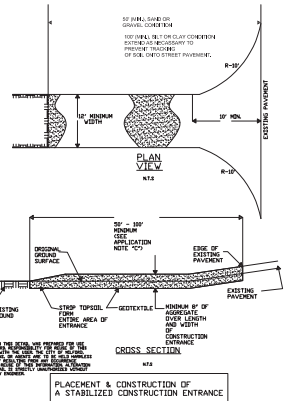
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C.C.G. CT CIVIL GROUP, LLC
 Civil & Structural Engineering, Land Surveying
 Designers & Planners
 158 RESEARCH DRIVE, MILFORD, CT 06460
 (203) 874-8316 www.ccgcivilgroup.com

CONSTRUCTION REQUIREMENTS:
 DEFINITION: AN ENTRANCE TO THE SITE SPECIFICALLY DESIGNED TO REDUCE THE AMOUNT OF SEDIMENT TRAPPED OFF SITE BY VEHICLES.
APPLICATION:
 A - LOCATED WHERE CONSTRUCTION VEHICLES ENTER AND LEAVE WORK SITE ONTO PUBLIC ROAD.
 B - REDUCES BUT MAY NOT ELIMINATE NEED FOR STREET SWEEPING.
 C - PLAN TO MAKE STONE AVAILABLE FOR MAINTENANCE OF ENTRANCE.
MAINTENANCE:
 A-AS REQUIRED, APPLY ADDITIONAL STONE OR GRAVE AND REPAIR/REPLACE AS NEEDED.
 B-REMOVE ANY SEDIMENT APPEARING OVERROADWAYS OR STORM DRAIN IMMEDIATELY.

INSTALLATION:
 1. CLEAR THE ENTRANCE OF ALL VEGETATION AND EXISTING CONCRETE MATERIALS AND EXISTING TORSION FROM CONSTRUCTION ENTRANCE LOCATION.
 2. AT PROXIMATE LOCATIONS, INSTALL SUBSURFACE DRAINAGE PROVIDED FOR SURFACE WATER COLLECTION UNDER ENTRANCE WITH COLLECTOR AS NEEDED.
 3. PLACE IN TIE FABRIC (AS REQUIRED) OVER THE FULL WIDTH AND LENGTH OF ENTRANCE AND COVER WITH CORNER CURED STONE TO A DEPTH OF AT LEAST 2" MIN.
 4. AS NEEDED, INSTALL VIBRATORS AND DECOMPRESSION FACILITIES FOR TYPICAL, REINFORCED CONCRETE. REINFORCED FROM FIBERGLASS FRAYERS OVER STONE. SEDIMENT SHOULD BE RELOCATED AND TRAPPED SOIL CAN BE REMOVED AND STABILIZED.

2
D-1



6
D-1

3
D-1

12" LOW PROFILE REGULAR LEACHING GALLEY

GALLEY DESIGN SPECIFICATIONS
 CONFORM TO LATEST ASTM DESIGNATION C913

NOTES:
 1. INLET AND OUTLET LOCATIONS HAVE POLYLOCK II PIPE SEALS. TYPICAL CUSTOM KNOCKOUTS CAN BE O.K. ON REQUEST.
 2. REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION G85.
 3. CONCRETE COMPRESSIVE STRENGTH: 4000 PSI AT 28 DAYS.
 4. METHOD OF MANUFACTURE: WET CAST.
 5. SECTION IS MONOLITHIC.

WEIGHT CHART

FINISH	FINISH WEIGHT PER S.F.
LEACHING GALLEY	268 LB/S.F.

LEACHING DATA
 FOR TESTING: LOADING THREE GALLONS PER HOUR (1" GALV. STEEL) - GALLEYS.

TOP VIEW (ROOF SLAB THICKNESS IS 3")

SIDE VIEW (WALL THICKNESS IS 3") (ROOF THICKNESS IS 3" @ BEAMS)

END VIEW (END SECTION) (WALL THICKNESS IS 3") (ROOF THICKNESS IS 3" @ BEAMS)

END VIEW (CENTER SECTION) (WALL THICKNESS IS 3") (ROOF THICKNESS IS 3" @ BEAMS)

UNITED CONCRETE PRODUCTS INC.
 173 CHANDLER STREET, YALEVILLE, CT 06462
 TEL: (203) 234-3110, FAX: (203) 255-4941, (203) 255-3110

4
D-1

7
D-1

8
D-1

To my knowledge and belief, this map is substantially correct as noted herein.
 Date: August 9, 2023
 Signature: [Signature]
 Expires: November 12, 2024, CT Lic. No. 16975

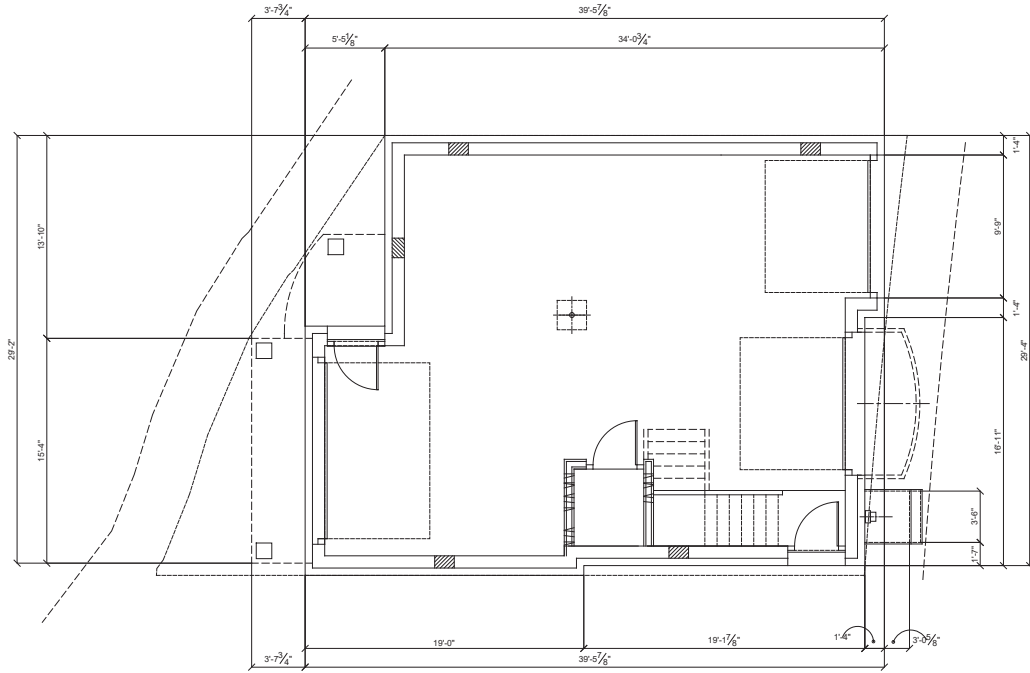
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STATE OF CONNECTICUT
 No. 16975
 REGISTRATION EXPIRES 11/12/24

DETAILS
 PREPARED FOR
 Brenton Artz
 104 Edgewater place, Milford, Connecticut

DATE: August 9, 2023
 SHEET: 471 OF 9
 DRAWN BY: RW
 PROJECT No.: 2023-009
 BOX No.: 196
 DWG No.: 2548
 SHEET 4 of 4

NOT TO SCALE



1
F1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

REVISED	
No.	DATE
1	6-14-2023 - Schematics
2	7-21-2023 - Plan Final Design
3	9-2-2023 - Final Design
4	12-12-2023 - Zoning Compliance Revw

SUBMITTED	
No.	DATE
1	10-6-2023 - CAM Zoning Application

Building Areas	
Garage	1,077.87 sqf
First Floor	1,009.38 sqf
Second Floor	1,009.38 sqf
Attic Floor	393.79 sqf
TOTAL LIVING	2,378.55 sqf
Covered Deck	63.54 sqf
Balconies (2)	87.0 sqf

Zoning Building Areas	
First Floor	1,009.38 sqf > 625 sf.
Second Floor	1,009.38 sqf
Attic Floor	393.79 sqf
Total Area	2,378.55 sqf = 900 sf.



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DATE	06-14-2023
SCALE	AS SHOWN
DRAWN	BWC
CHECKED	JAW

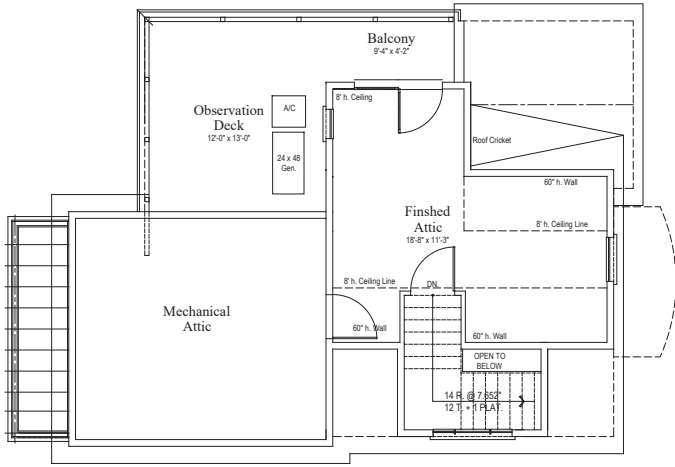
Artz Residence
104 Edgewater Place, Milford, CT
Prepared for
Milford, CT 06460

FOUNDATION PLAN

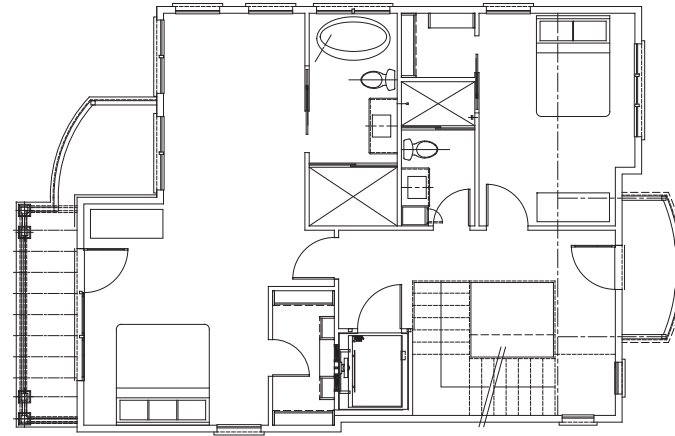
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LLC

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P.E. 10238 (Registration No.)

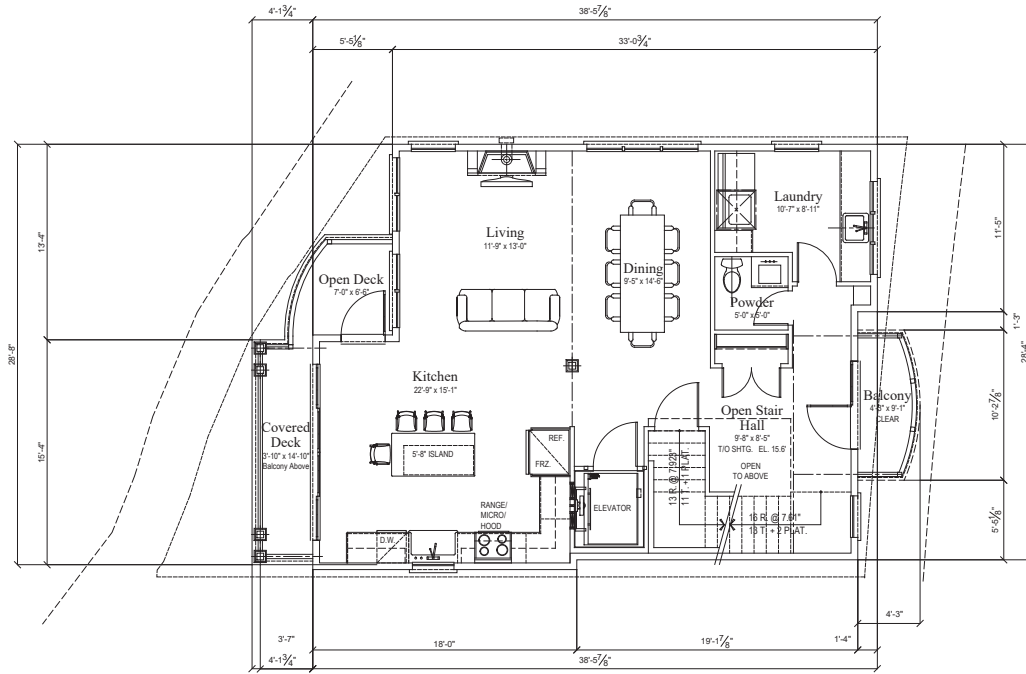
F1



3 ATTIC PLAN
A1 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
A1 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
A1 SCALE: 1/4" = 1'-0"

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4	12-12-2023 - Zoning Compliance Rev

SUBMITTED	
No.	DATE
1	10-6-2023 - CAM Zoning Application

Building Areas	
Garage	1,077.87 gsf
First Floor	1,009.38 gsf
Second Floor	1,009.38 gsf
Attic Floor	359.79 gsf
TOTAL LIVING	2,378.55 gsf
Covered Deck	63.54 gsf
Balconies (2)	87.0 gsf

Zoning Building Areas	
First Floor	1,009.38 gsf > 625 sf
Second Floor	1,009.38 gsf
Attic Floor	359.79 gsf
Total Area	2,378.55 gsf > 900 sf



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NO.	DATE	BY
1	01-23-2023	AW
2	01-23-2023	AW
3	01-23-2023	AW
4	01-23-2023	AW

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FLOOR PLANS

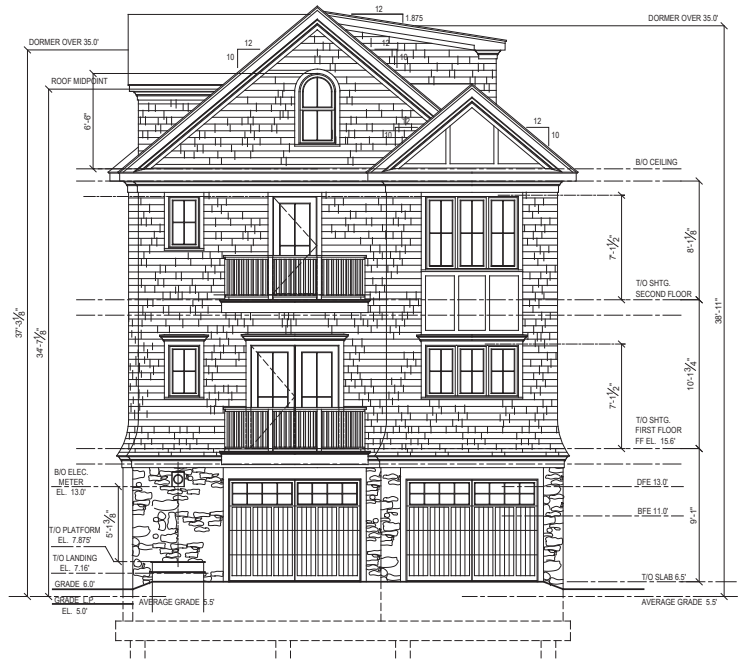
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P.E. #02384 (Registration No.)

A1



1 SOUTH SIDE ELEVATION
A2 SCALE: 1/4" = 1'-0"



1 EDGEWATER ELEVATION
A2 SCALE: 1/4" = 1'-0"

REVISED	
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DATE	06-23
SCALE	AS SHOWN
DRAWN	BWC
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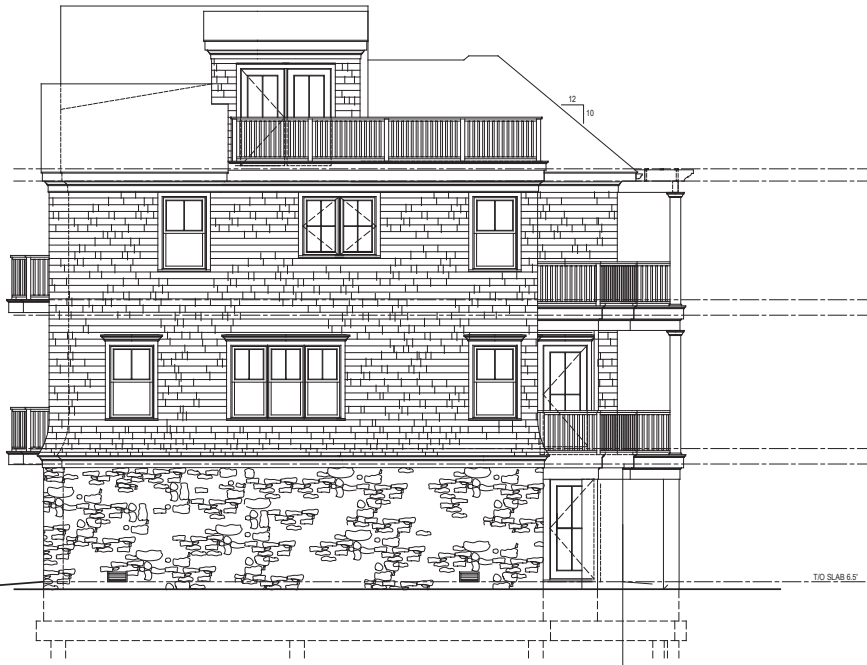
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SCHMATIC ELEVATIONS

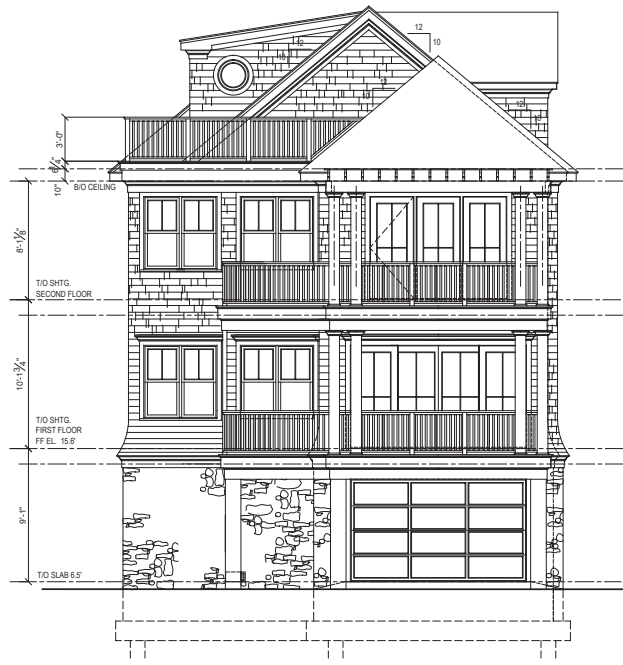
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www.jawicko.com

A2



1 NORTH SIDE ELEVATION
A3 SCALE: 1/4" = 1'-0"



1 HARBOR ELEVATION
A3 SCALE: 1/4" = 1'-0"

REVISED	
No.	DATE
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No.	DATE
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SCALE	AS SHOWN
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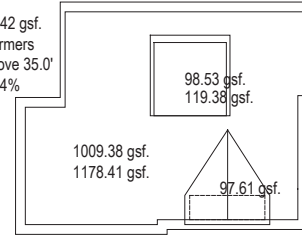
SCHMATIC ELEVATIONS

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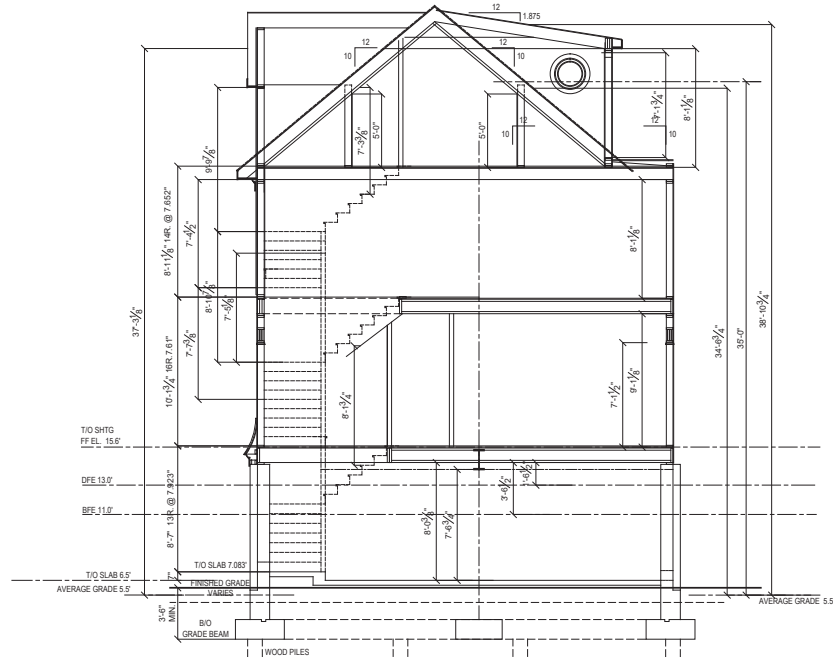
8 PROSPECT STREET, MIDDLETOWN, CT 06450 (203) 341-6200

A3

.1842 gsf.
Dormers
above 35.0'
18.4%



1 DORMER EXEMPTION Work Sheet
A4 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
A4 SCALE: 1/4" = 1'-0"

REVISED

No.	DATE
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SUBMITTED

No.	DATE
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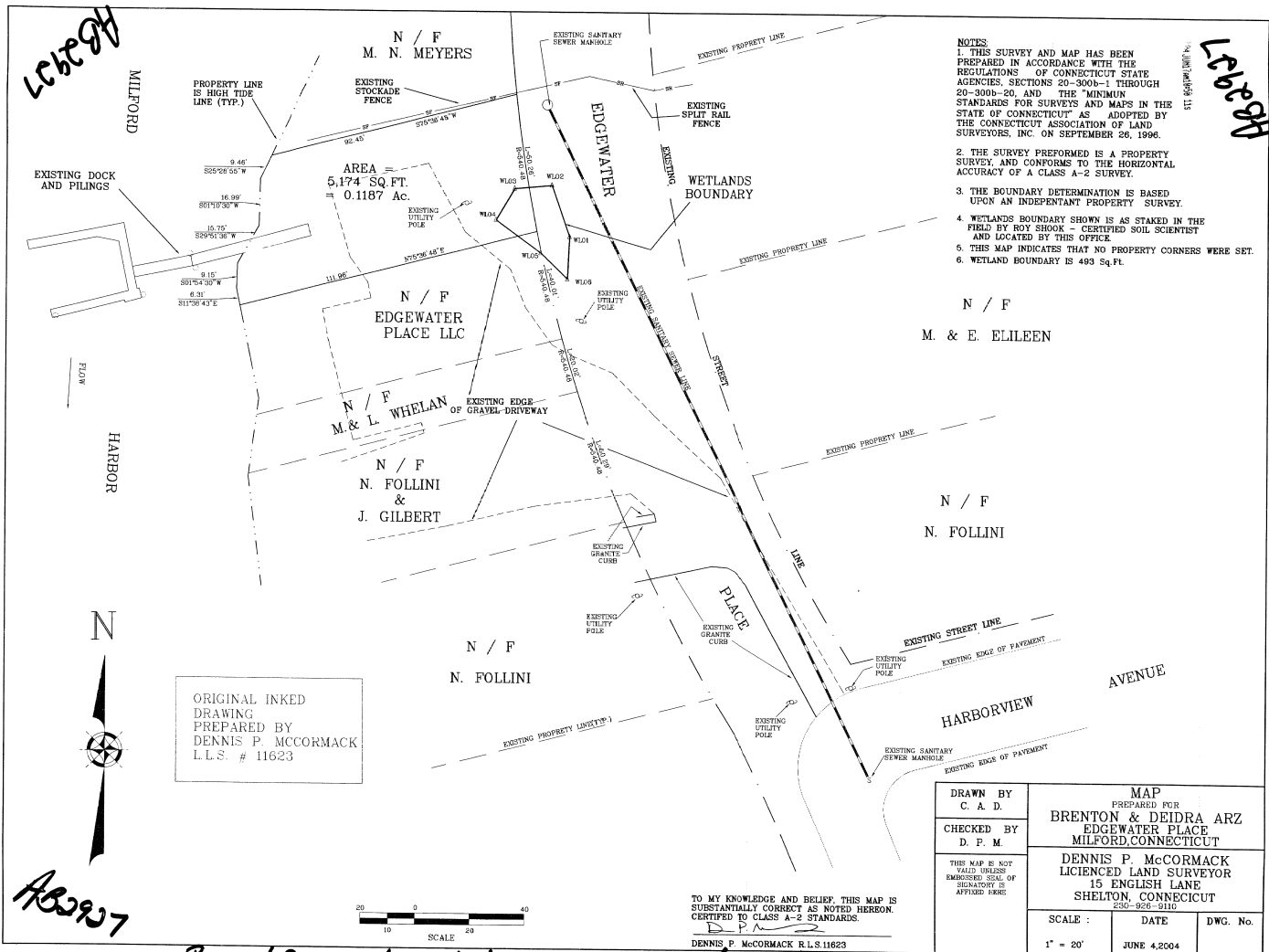
DATE	06-14-2023
SCALE	AS SHOWN
DRAWN BY	JAW
CHECKED BY	JAW

Artz Residence
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Prepared for
Milford, CT 06460

BUILDING SECTION
JOHN A. WICKO
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LLC

PROJECT: 104 EDGEBY PLACE, MILFORD, CT 06460 (2013) PL-0203

A4



AB2927

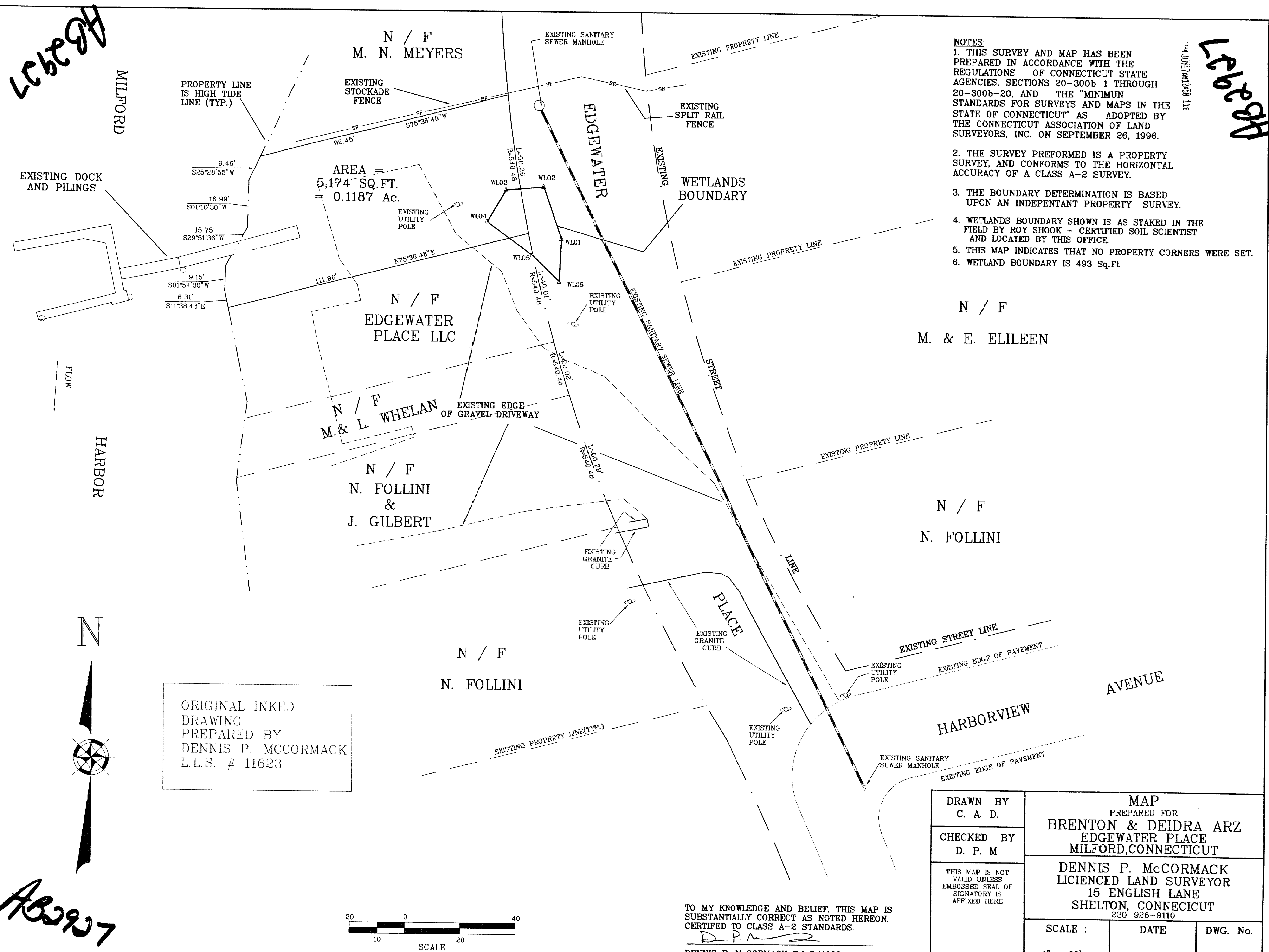
AB2927

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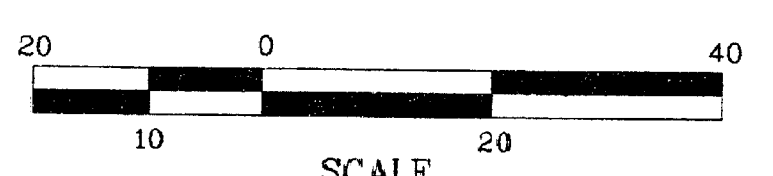
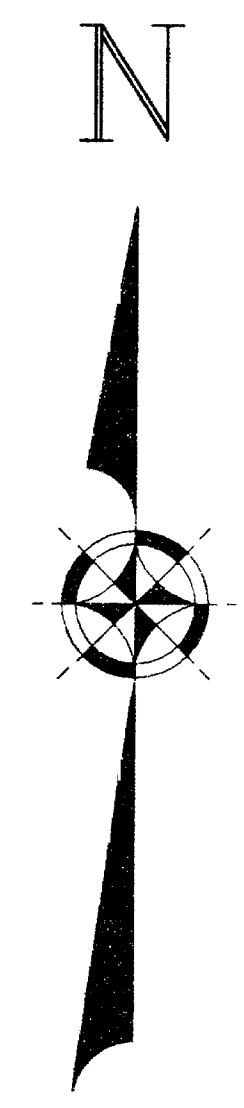
AB2927





- NOTES:**
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 2. THE SURVEY PERFORMED IS A PROPERTY SURVEY, AND CONFORMS TO THE HORIZONTAL ACCURACY OF A CLASS A-2 SURVEY.
 3. THE BOUNDARY DETERMINATION IS BASED UPON AN INDEPENDANT PROPERTY SURVEY.
 4. WETLANDS BOUNDARY SHOWN IS AS STAKED IN THE FIELD BY ROY SHOOK - CERTIFIED SOIL SCIENTIST AND LOCATED BY THIS OFFICE.
 5. THIS MAP INDICATES THAT NO PROPERTY CORNERS WERE SET.
 6. WETLAND BOUNDARY IS 493 Sq.Ft.

ORIGINAL INKED
DRAWING
PREPARED BY
DENNIS P. MCCORMACK
L.L.S. # 11623



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. CERTIFIED TO CLASS A-2 STANDARDS.
D. P. M.
DENNIS P. MCCORMACK R.L.S.11623

DRAWN BY C. A. D.	MAP PREPARED FOR BRENTON & DEIDRA ARZ EDGEWATER PLACE MILFORD, CONNECTICUT		
	DENNIS P. MCCORMACK LICENCED LAND SURVEYOR 15 ENGLISH LANE SHELTON, CONNECTICUT 230-928-9110		
CHECKED BY D. P. M.	SCALE :	DATE	DWG. No.
THIS MAP IS NOT VALID UNLESS EMBOSSED SEAL OF SIGNATORY IS AFFIXED HERE	1" = 20'	JUNE 4, 2004	

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