

Susan LaFond

From: Kevin Curseaden <kjcurseaden@cmctlaw.com>
Sent: Wednesday, April 27, 2022 6:19 PM
To: David Sulkis; Joseph Griffith
Cc: lynch@ltmblaw.com; Susan LaFond; 'Ronald Wassmer'
Subject: FW: 615 Plains Road - Extension; Traffic Study Update.

CAUTION: This message originated outside of the organization. Use caution when opening attachments, clicking links or responding to requests for information.

Good afternoon, David.

We respectfully request/grant an extension of time through May 17, 2022 to complete and close the public hearing as the Traffic Engineer requires additional time to complete his report and provide that report to the Board in a meaningful time prior to the meeting.

The public hearing was opened on March 1, 2022. Per CGS Sec. 8-7d a Public Hearing is required to be completed within 35 days of being opened. The total extensions granted shall not exceed 65 days.

To date, there have been a total of 29 days of extensions granted as follows:

- A 1 day extension was granted through April 5, 2022. A second extension of 14 days was granted through April 19, 2022. A third extension was granted to May 3, 2022.

Continuing this matter to May 17, 2022 will be an additional 14 days of extensions for a total of 43 days of extensions granted.

Please confirm the public hearing on this matter will be continued to the May 17, 2022 meeting.

Thank you.

Kevin J. Curseaden
Curseaden & Moore, LLC
PO Box 31, 3 Lafayette Street
Milford, CT 06460
203.874.9500 Ext 443
Fax: 203.882.7247
<https://www.cmctlaw.com/>
kjcurseaden@cmctlaw.com

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From: Kevin Curseaden
Sent: Wednesday, April 13, 2022 4:30 PM
To: David Sulkis <DSulkis@milfordct.gov>; Tom Lynch <lynch@ltmblaw.com>
Cc: Joseph Griffith <JGriffith@milfordct.gov>; Susan LaFond <SLaFond@milfordct.gov>
Subject: 615 Plains Road - Extension; Traffic Study Update.

David,

We respectfully request/grant an extension of time through May 3, 2022 to complete the public hearing as the Traffic Engineer requires additional time to complete his report and provide that report to the Board in a meaningful time prior to the meeting.

The public hearing was opened on March 1, 2022. Per CGS Sec. 8-7d a Public Hearing is required to be completed within 35 days of being opened. The total extensions granted shall not exceed 65 days.

We granted an initial extension of 1 day through April 5, 2022. A second extension of 14 days was granted through April 19, 2022. To date, a total of 15 days of extension have been granted. Continuing this matter to May 3, 2022 will be an additional 14 days of extensions for a total of 29 days of extensions granted.

Please confirm the public hearing on this matter will be continued to the May 3, 2022 meeting.

Thank you.

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From: Kevin Curseaden
Sent: Wednesday, March 30, 2022 5:46 PM
To: David Sulkis <DSulkis@milfordct.gov>; Tom Lynch <lynch@ltmblaw.com>
Cc: Joseph Griffith <JGriffith@milfordct.gov>; Susan LaFond <SLaFond@milfordct.gov>
Subject: RE: 615 Plains road Traffic Study Update.

David,

I spoke with the Traffic Engineer. He just received his traffic counts this afternoon and will not be able to get a report to the City until early next week.

Therefore, we request/grant an extension of time through April 19, 2022 to complete the public hearing.

We respectfully request this matter be continued to the 4/19/22 meeting in order to give the engineer time to complete the study and provide that study to the Board in a meaningful time prior to the meeting.

Just so we stay on track: The public hearing was opened on March 1, 2022. Per CGS Sec. 8-7d a Public Hearing is required to be completed within 35 days of being opened. The total extensions granted shall not exceed 65 days.

We granted an initial extension of 1 day through April 5, 2022. If the extension through April 19, 2022 is granted that is another 14 days of extension for a total of 15 days of extensions granted so far.

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From: David Sulkis <DSulkis@milfordct.gov>
Sent: Tuesday, March 29, 2022 9:35 AM
To: Tom Lynch <lynch@tmbllaw.com>; Kevin Curseaden <kjcurseaden@cmctlaw.com>
Cc: Joseph Griffith <JGriffith@milfordct.gov>; Susan LaFond <SLaFond@milfordct.gov>
Subject: 615 Plains road Traffic Study Update.

Hi,

Per your request, your application is on the schedule for next week's meeting on 4/5/22.

Can you give us an update on the status of the study? The city will need time to review the study prior to the Board meeting to determine if a third-party review might be required.

If you will not be ready, please confirm the extension to the 4/19/22 meeting as mentioned in your email of 3/9/22.

Regards,

Dave

David B. Sulkis, A.I.C.P.
City Planner/Executive Secretary to the Planning and Zoning Board
City of Milford

70 West River Street
Milford, CT 06460
203-783-3245
dsulkis@milfordct.gov

David Sulkis

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City Planner/Executive Secretary to the Planning and Zoning Board
City of Milford
70 West River Street
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203-783-3245
dsulkis@milfordct.gov

Susan LaFond

From: David Sulkis
Sent: Thursday, March 31, 2022 7:43 AM
To: Kevin Curseaden; Tom Lynch
Cc: Joseph Griffith; Susan LaFond
Subject: RE: 615 Plains road Traffic Study Update.

Ok.
Thank you.

David B. Sulkis, A.I.C.P.
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Subject: 615 Plains road Traffic Study Update.

Hi,
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Can you give us an update on the status of the study? The city will need time to review the study prior to the Board meeting to determine if a third-party review might be required.
If you will not be ready, please confirm the extension to the 4/19/22 meeting as mentioned in your email of 3/9/22.
Regards,
Dave

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City Planner/Executive Secretary to the Planning and Zoning Board
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Milford, CT 06460
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dsulkis@milfordct.gov

Susan LaFond

From: Kevin Curseaden <kjcurseaden@cmctlaw.com>
Sent: Thursday, March 10, 2022 11:11 AM
To: David Sulkis
Cc: Susan LaFond; lynch@ltmblaw.com; Ronald Wassmer; Steve Ulman; Joseph Griffith
Subject: RE: 615 Plains Road - Agenda for Planning and Zoning Board Meeting to be held March 15, 2022

Follow Up Flag: Follow up
Flag Status: Flagged

Good morning, David. Thank you for the information.

We respectfully request/grant an extension of time of 2 days to keep the public hearing open through April 6, 2022.

Please let me know if you need anything further.

Thank you for your time.

Kevin

Kevin J. Curseaden
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From: David Sulkis <DSulkis@milfordct.gov>
Sent: Thursday, March 10, 2022 10:28 AM
To: Kevin Curseaden <kjcurseaden@cmctlaw.com>
Cc: Susan LaFond <SLaFond@milfordct.gov>; lynch@ltmblaw.com; Ronald Wassmer <rwassmer@ctcivilgroup.com>; Steve Ulman <sulman@benesch.com>; Joseph Griffith <JGriffith@milfordct.gov>
Subject: RE: 615 Plains Road - Agenda for Planning and Zoning Board Meeting to be held March 15, 2022

Hi Kevin,

Please provide an extension of time now. The meeting on 4/5/22 is 36 days after the opening of the hearing (3/1/22). Anything more than 35 days needs an extension.
Please let me know if you have any questions,

Dave

David B. Sulkis, A.I.C.P.
City Planner/Executive Secretary to the Planning and Zoning Board
City of Milford
70 West River Street
Milford, CT 06460
203-783-3245
dsulkis@milfordct.gov

From: Kevin Curseaden <kjcurseaden@cmctlaw.com>
Sent: Wednesday, March 9, 2022 2:44 PM
To: David Sulkis <DSulkis@milfordct.gov>; Joseph Griffith <JGriffith@milfordct.gov>
Cc: Susan LaFond <SLaFond@milfordct.gov>; lynch@ltmblaw.com; Ronald Wassmer <rwassmer@ctcivilgroup.com>; Steve Ulman <sulman@benesch.com>
Subject: 615 Plains Road - Agenda for Planning and Zoning Board Meeting to be held March 15, 2022

David,

Please let the Chairman and Board know that the owner of 615 Plains Road has hired a traffic engineer for a traffic study.

We respectfully request this matter be continued to the 4/5/22 meeting in order to give the engineer time to complete the study and provide that study to the Board prior to the meeting.

In the event the traffic study is not complete by April 5, 2022, we will request/provide an extension of time of the public hearing to the April 19th meeting.

Thank you.

Kevin

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From: Susan LaFond <SLaFond@milfordct.gov>
Sent: Wednesday, March 9, 2022 2:32 PM
To: Anthony Fabrizi <AFabrizi@milfordct.gov>; Anthony Fino <AFino@milfordct.gov>; Beverly Hayes <BH Hayes@milfordct.gov>; Blessing Nwaohuocha (bcwahoo@gmail.com) <bcwahoo@gmail.com>; Christopher Saley

<CSaley@milfordct.gov>; Daniel Hemperly <DHemperly@milfordct.gov>; David Sulkis <DSulkis@milfordct.gov>; Debra S. Kelly <DKelly@milfordct.gov>; Doug Edo <DEdo@milfordct.gov>; Gregory H. Pidluski <GPidluski@milfordct.gov>; Jay Kranyak <JKranyak@milfordct.gov>; Jeremy Grant <JGrant@milfordct.gov>; Jonathan Berchem <JBerchem@milfordct.gov>; Joseph Griffith <JGriffith@milfordct.gov>; Julie Nash <JNash@milfordct.gov>; Justin Rosen <JRosen@milfordct.gov>; Kara Flannery <kara@karaflannery.com>; Karen Fortunati <KFortunati@milfordct.gov>; Kathy Kennedy <KKennedy@milfordct.gov>; Keith Mello <KMello@milfordct.gov>; Lesley DiCocco <LDiCocco@milfordct.gov>; Linda Michel <LMichel@milfordct.gov>; Lindsey Diaz MGAT (diaz.lindsey14@gmail.com) <diaz.lindsey14@gmail.com>; Marcus Irrek <MIrrek@milfordct.gov>; MaryRose Palumbo <MPalumbo@milfordct.gov>; Mayor-Ben Blake <Mayor@milfordct.gov>; Meg E. Greene <MGreene@milfordct.gov>; MGAT City <milfordgovernmentaccesstv@gmail.com>; Rosann Farrell <RFarrell@milfordct.gov>; Rose Colon <RColon@milfordct.gov>; Rose Elliott <RElliott@milfordct.gov>; saul.flores@hearstmediact.com; Shaun Bennett <SBennett@milfordct.gov>; Stephen H. Harris <SHHarris@milfordct.gov>; Steven Johnson <StevenJohnson@milfordct.gov>; Taft Clark <TClark@milfordct.gov>; Teonni Barrett <TBarrett@milfordct.gov>; Toni Weeks <TWeeks@milfordct.gov>; Whitney L. Ives <WIves@milfordct.gov>
Cc: Tom Lynch <Lynch@ltmblaw.com>; 'matt@racecoastal.com' <matt@racecoastal.com>; 'soniabannondepenagos@gmail.com' <soniabannondepenagos@gmail.com>; Kevin Curseaden <kjcurseaden@cmctlaw.com>

Subject: Agenda for Planning and Zoning Board Meeting to be held March 15, 2022

Good afternoon,

Attached please find the agenda for the March 15, 2022, Planning and Zoning Board meeting.

If your application appears on this agenda, you or a designee must appear in person for your application to be heard.

Please contact me with any questions. Thank you.

Sue

Susan R. LaFond
Administrative Assistant
City of Milford
Department of Permitting and Land Use
70 West River Street
Milford, CT 06460

203-783-3374

slafond@milfordct.gov

Susan LaFond

From: Kevin Curseaden <kjcurseaden@cmctlaw.com>
Sent: Wednesday, March 9, 2022 2:44 PM
To: David Sulkis; Joseph Griffith
Cc: Susan LaFond; lynch@ltmblaw.com; Ronald Wassmer; Steve Ulman
Subject: 615 Plains Road - Agenda for Planning and Zoning Board Meeting to be held March 15, 2022
Attachments: Agenda 031522 PZ Board.pdf

David,

Please let the Chairman and Board know that the owner of 615 Plains Road has hired a traffic engineer for a traffic study.

We respectfully request this matter be continued to the 4/5/22 meeting in order to give the engineer time to complete the study and provide that study to the Board prior to the meeting.

In the event the traffic study is not complete by April 5, 2022, we will request/provide an extension of time of the public hearing to the April 19th meeting.

Thank you.

Kevin

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Kennedy <KKennedy@milfordct.gov>; Keith Mello <KMello@milfordct.gov>; Lesley DiCocco <LDiCocco@milfordct.gov>; Linda Michel <LMichel@milfordct.gov>; Lindsey Diaz MGAT (diaz.lindsey14@gmail.com) <diaz.lindsey14@gmail.com>; Marcus Irrek <MIrrek@milfordct.gov>; MaryRose Palumbo <MPalumbo@milfordct.gov>; Mayor-Ben Blake <Mayor@milfordct.gov>; Meg E. Greene <MGreene@milfordct.gov>; MGAT City <milfordgovernmentaccess@gmail.com>; Rosann Farrell <RFarrell@milfordct.gov>; Rose Colon <RColon@milfordct.gov>; Rose Elliott <RElliott@milfordct.gov>; saul.flores@hearstmediact.com; Shaun Bennett <SBennett@milfordct.gov>; Stephen H. Harris <SHHarris@milfordct.gov>; Steven Johnson <StevenJohnson@milfordct.gov>; Taft Clark <TClark@milfordct.gov>; Teonni Barrett <TBarrett@milfordct.gov>; Toni Weeks <TWeeks@milfordct.gov>; Whitney L. Ives <Wlives@milfordct.gov>
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203-783-3374

slafond@milfordct.gov

ADMINISTRATIVE SUMMARY FORM

DATE OF SUMMARY: Revised, 2/22/22

HEARING DATE: March 1, 2022

APPLICATION REQUEST: Special Exception with Site Plan and CAM Review

ZONE: LI

ADDRESS:

615 Plains Road

APPLICANT:

615 Plains Rd, LLC

REPRESENTATIVE:

Thomas Lynch

REVIEWS

<u>DEPARTMENTS</u>	<u>APPROVED</u>	<u>DENIED</u>	<u>NEUTRAL</u>	<u>CONDITIONS</u>
Engineering			7/22/2021	
Conservation			NA	
Fire Marshall			7/13/2021	
Health				7/16/2021
Inland Wetlands				2/16/22 order
Police			7/28/2021	
Public Works			NA	
Sewer Commission			1/3/22	
Tree Commission			NA	
DEEP			NA	
Building			NA	
Community Dev.			NA	

STAFF REVIEW/COMMENTS

The submitted application is not zoning compliant and cannot be certified as such under 7.1.1.1 and 7.1.1.2. The applicant requested that it be brought to the Board for its determination. The applicant is proposing to establish a school bus depot and private fueling facility. In accordance with section 7.1.2.21, 7.2.1(2), and municipal ordinance 18-90.2, the applicant was informed that the submitted traffic overview was not a traffic study. The applicant was informed on 6/30/2021 that a third-party traffic consultant is required. The

applicant informed staff that they believe ordinance 18-90.2 can't be implemented by staff, only the Planning & Zoning Board. Staff disagrees with that interpretation.

Site work has been conducted without approval of the Inland Wetlands Commission, and a Notice of Violation has been issued. A public hearing before the Inland Wetlands Commission on the violation was scheduled for 1/19/22, with a follow up meeting on 2/16/22. The applicant is required to submit a mitigation and planting plan by 2/28/22. A mitigation bond by 4/1/22 and install a seed mixture by 5/15/22.

Staff recommends denial of the application as it is not zoning compliant. The applicant shall comply with ordinance 18-90.2, zoning sections 7.1.2.21 and 7.2.1(2).

The applicant can reapply when a zoning and ordinance compliant application is submitted.

Reviewer: David B. Sulkis, A.I.C.P.



City of Milford, Connecticut

Founded 1639

70 West River Street – Milford, CT 06460-3317

Tel 203-783-3245 FAX 203-783-3303

Website: www.ci.milford.ct.us

Email: dsulkis@ci.milford.ct.us

Planning and Zoning
Office

David B. Sulkis, A.I.C.P.
City Planner

PLANNING & ZONING BOARD REVIEW TRANSMITTAL

RE: 615 Plains Road

DATE: 6/30/2021

TO:

<input type="checkbox"/>	City Attorney	<input checked="" type="checkbox"/>	City Engineer
<input type="checkbox"/>	Mayor's Office	<input checked="" type="checkbox"/>	Fire Marshal
<input type="checkbox"/>	Conservation Commission	<input checked="" type="checkbox"/>	Inland Wetlands Commission
<input checked="" type="checkbox"/>	Health Administrator	<input type="checkbox"/>	Open Space Agent
<input checked="" type="checkbox"/>	Police Department	<input checked="" type="checkbox"/>	Public Works Director
<input checked="" type="checkbox"/>	Sewer Commission	<input type="checkbox"/>	South Central Regional
<input checked="" type="checkbox"/>	DEEP – CAM Report	<input type="checkbox"/>	Tree Commission (203-878-4895)
	Mail to: John Gaucher, DEEP	<input type="checkbox"/>	Resource Report
	79 Elm Street	<input type="checkbox"/>	Community Development
	Hartford, CT 06106	<input checked="" type="checkbox"/>	Building Department
<input type="checkbox"/>	DEEP Permitting	<input checked="" type="checkbox"/>	Planning & Zoning Office (3 Sets)
	Mail to: Sue Jacobson, DEEP		

SUBJECT: School Bus storage, maintenance and dispatch facility w/outdoor fueling station

ADDRESS OF PROPERTY: 615 Plains Road

MAP: 062 **BLOCK:** 928 **PARCEL:** 48 **ZONE:** LI

APPLICANT/AGENT: Thomas Lynch, Esq.

PHONE: 203-878-4669 **EMAIL:** lynch@ltmblaw.com

PROPERTY OWNER: 615 Plains Road, LLC

PLAN TITLE: Site Plan, 615 Plains Road

PREPARED BY: CT Civil Group, LLC

DATE OF PLANS: 12/1/2020; Revised 6/9/2021

DATE RECEIVED BY PLANNING & ZONING: 6/11/2021

PLANNING & ZONING CONTACT: David B. Sulkis

These plans/documents have been received and are transmitted to your office for review prior to the submission of a Special Exception with Site Plan Review to the Planning & Zoning Board

ALL COMMUNICATIONS REGARDING THE REVIEW SHALL BE DIRECTED TO THE APPLICANT/AGENT WITH A COPY TO THE PLANNING & ZONING OFFICE

10 Sets of plans will be required for the Planning & Zoning Board Distribution.

*These commission reviews must be returned within 10 working days.



MILFORD PLANNING AND ZONING BOARD
APPLICATION FOR COASTAL SITE PLAN REVIEW - PAGE 1 of 9

(CLICK THE GRAY BOX TO MAKE A SELECTION OR BEGIN TYPING)

APPLICANT 615 Plains Road, LLC

SITE PLAN REVIEW

AMENDMENT TO SITE PLAN REVIEW

TO ESTABLISH OR CONSTRUCT construct a parking area and driveway with storm drainage

ON THE FOLLOWING PROPERTY (ADDRESS) 615 Plains Rd

OWNER OF RECORD 615 Plains Road, LLC

ASSESSOR'S MAP 062

BLOCK 928

PARCEL 4B

ZONE LI

TYPE OF PROJECT APPROVAL REQUESTED:

SITE PLAN REVIEW [X]

SPECIAL PERMIT []

SUBDIVISION []

VARIANCE []

TYPE OF PROJECT OR ACTIVITY (CHECK ONE OR MORE)

COASTAL RESOURCES LOCATED WITHIN THE PROJECT OR WHICH THE PROJECT WILL AFFECT:

- Subdivision (type of use - residential, Commercial, etc.)
Single family residential
Multi-family residential (No. of units)
Condominium (No. of units)
Commercial - sq. ft.
Industrial - sq. ft. 130,582
Mixed residential/commercial (# units /sq. ft.)
Marina - sq. ft.
Commercial Port Facility - sq. ft.
Sewer Line - Capacity
Water Line - Capacity
Other - PLEASE SPECIFY:

- bluffs or escarpments
rocky shorefront
beaches and dunes
intertidal flats
tidal wetlands
freshwater wetlands
estuarine embayments
coastal flood hazard area
coastal erosion hazard area
developed shorefront
islands
coastal waters
shorelands 130,582 sf 3.0 ac
shellfish concentration areas

PROPERTY OWNER:

NAME 615 Plains Road, LLC c/o Jason Julian

SIGNATURE

MAILING ADDRESS 615 Plains Rd, Milford, CT

PHONE NO. 203-416-5308

PROFESSIONAL ENGINEER - DESIGNER/ARCHITECT - LAND SURVEYOR:

NAME Ronald W. Wassmer

MAILING ADDRESS 158 Research Dr Unit M, Milford, CT

IF APPEARING BY ATTORNEY OR AGENT:

NAME Ronald W. Wassmer (agent)

SIGNATURE

MAILING ADDRESS 158 Research Dr Unit M, Milford, CT

PHONE NO. 203-874-8316

SIGNATURE

PHONE NO. 203-874-8316

FEE - SEE SCHEDULE OF ZONING FEES (Payable by Check Only)

RECEIVED OF
RECEIVED BY

DATE
AMOUNT
RECEIPT NO.

APPLICATION FILED APPLICATION CERTIFIED PUBLIC HEARING DATE

DATE BOARD ACTION APPROVED DENIED

Municipal Coastal Site Plan Review Form

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Planning & Zoning Department.

Section I: Applicant Identification

Applicant:	615 Plains Road, LLC	Date:	7-01-2021	
Address:	615 Plains Rd, Milford, Ct	Phone Number:	203-416-5308	
Project Address or Location: 615 Plains Rd, Milford, CT				
Interest in Property:	<input checked="" type="checkbox"/> fee simple	<input type="checkbox"/> option	<input type="checkbox"/> lessee	<input type="checkbox"/> easement
	<input type="checkbox"/> other (specify):			
List primary contact for correspondence if other than applicant:				
Name:				
Address:				
City/Town:	State:	Zip Code:		
Business Phone:				
e-mail:				

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Storm water treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description:

615 Plains Rd

City or Town: Milford

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:

Housatonic River, Long Island Sound

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:

Map 62 Block 928 Parcel 4B, Zone LI, Limited Industrial use, An existing commercial building, parking area, and gravel areas on site. Adjacent to zone LI and HDD.

5. Indicate the area of the project site: 3.0 acres **or** 130,582 square feet

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

- Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
- Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.
- Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The proposed re-development is to construct a paved parking area, reconstruct the existing driveway and add a second driveway, construct sidewalks, and add a landscaping. The existing site impervious cover is 82.9%. The proposed site impervious cover is 79.1%, which is a 3.8% reduction. The reduction is due to an increase in landscaped areas. The current site has no storm water drainage system and the runoff flows through the gravel and paved areas of the site onto Plains Road. The proposed re-development will improve the water quality. Site grading is necessary for the construction. Erosion control measure will be installed prior to construction and will remain in place until the site is stabilized.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Current storm water best management practices will be employed. The existing site does not have any storm water management. The proposed re-development will improve the runoff by decreasing impervious cover. The parking area is graded to drain towards on-site infiltration galleys. Water quality chambers are used for water quality control measures. The post-development runoff rates and volumes are less than the pre-development.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	Off-site but within the influence of project			
	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

The development is consistent with the Coastal Resource Policy, the development will preserve the coastal resources. The project is consistent with the Shoreland Policies, there will be no adverse impacts. The re-development will preserve the coastal resources, sedimentation and erosion control measures and storm water treatment measures are included in the plans.

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

This proposed re-development is consistent with the Coastal Resource Policy, the re-development will preserve the coastal resources will providing economic growth for the City of Milford. The site does not abut coastal waters.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

The site does not abut coastal waters.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

There are no potential adverse impacts. The proposed re-development will improve the water quality since there is no storm water management currently on site.

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

There are no potential adverse impacts.

CAM REQUIRED

YES: NO:

MILFORD PLANNING & ZONING BOARD
PETITION FOR SPECIAL EXCEPTION

I (WE): Kevin J. Curseaden, Esq. as Attorney for DURHAM SCHOOL SERVICES, LIMITED PARTNERSHIP
HEREBY PETITION FOR A:

SPECIAL EXCEPTION: AMENDMENT TO A SPECIAL EXCEPTION:

TO: Establish school bus base of operations, maintenance, storage, outdoor fueling and dispatch facility

ON THE FOLLOWING PROPERTY:

ADDRESS OF PROPERTY: 615 Plains Road CORNER LOT: SEWER: SEPTIC:

ASSESSORS MAP: 62 BLOCK: 928 PARCEL: 4B ZONE: LI ACRES: 3.0

APPLICANT'S NAME: Durham

PHONE NUMBER: 203.874.9500 Ext. 443 EMAIL ADDRESS: kjcurseaden@cmctlaw.com

APPLICANT'S MAILING ADDRESS: c/o Kevin J. Curseaden, Esq., 3 Lafayette St., Milford 06460

APPLICANT OR DULY AUTHORIZED AGENT SIGNATURE WITH TITLE:
[Signature] Kevin J. Curseaden, Esq., Attorney for Applicant DURHAM SCHOOL SERVICES, LP

(I HEREBY CERTIFY THAT I AM THE DULY AUTHORIZED AGENT AND AM MAKING THIS APPLICATION ON BEHALF OF AND WITH THE FULL AUTHORITY OF THE OWNER OF THE PROPERTY)

PROPERTY OWNER'S NAME: 615 Plains Road, LLC PHONE NUMBER: 203.878.4669

PROPERTY OWNER'S MAILING ADDRESS: c/o Thomas B. Lynch, Esq. 63 Cherry Street, Milford 06460

IF APPEARING BY ATTORNEY OR AGENT:

NAME: Kevin J. Curseaden, Esq. for Applicant; Thomas B. Lynch, Esq. for Owner

MAILING ADDRESS: c/o Kevin J. Curseaden, 3 Lafayette St., Milford PHONE NUMBER: 203.874.9500 Ext 443

SIGNATURE: [Signature]

HAS ANY PREVIOUS PETITION FOR A SPECIAL EXCEPTION BEEN FILED FOR THIS PROPERTY?

YES: NO:

IF YES, GIVE DECISION: APPROVED: DENIED: DATE: _____

For Office Use Only NOTE: COPIES OF THIS APPLICATION WILL NOT BE ACCEPTED

FEE - SEE SCHEDULE OF ZONING FEES
RECEIVED OF: _____ DATE: _____
RECEIVED BY: _____ AMOUNT: _____ RECEIPT NUMBER: _____
DATE APPLICATION FILED: _____ DATE APPLICATION CERTIFIED: _____
PLANNING & ZONING BOARD ACTION: DATE: _____ APPROVED: DENIED:

RECEIVED

FEB 23 2022

PLANNING & ZONING
MILFORD, CT 06460

REVISED 2/22/22

615 PLAINS ROAD
SPECIAL EXCEPTION & COASTAL AREA SITE PLAN
STATEMENT OF USE

I. Property

Address: 615 Plains Road

Tax Map: MAP 62 BLOCK 928 PARCEL 4B

Zone: LI

Acreage: = 3.0 Acres

Building SF: Total 13,694 SF

Existing Building: 13,694 +/- SF

Use on Adjoining Lots & Vicinity: Milford Riders Motorcycle Club, Storage, Vacant,
Contractor Shop/Office, Landfill

II. Prior/Existing Use: Manufacturer of man-lifts for utility trucks.

III. Proposed Use:

Special Exception: School bus base of operations, storage, fueling, maintenance for school buses.

The existing footprint of the 13,694 +/- SF building will not change.

An outdoor self-contained fueling station has also been built on the site with the use pending zoning approval.

Hours of Operation:

During the school year: Monday – Friday, first bus out is at 6:00 AM with the rest being staggered start times until 7:15AM. All buses return in the morning between 8:30AM and 9:15 AM. Mid-Day routes are out between 10:30 AM and 11:30 AM back by 12:30 PM. Afternoon routes - some are at 1:15 PM and depending on the day, home to school routes are back by 5:00 PM. Also, depending on sports trips those buses may return at 10:30 PM or later.

Saturdays there will be sports trips depending on the season.

Summer: Between 12:00 PM and 2 PM - 20 trips at most.

Route to and from property: Exit on to Plains Road, turn on to Shelland St. and then on to Bic Drive. Returning via Bic Drive, Shelland, Plains and entering property from Raton Dr.

Proposed Number of Trips and Routes: Per P.E., P.T.O.E. (Certification as a Professional Traffic Operations Engineer) Michael Dion of BL Companies, the total number of trips per peak hour will be 70. (See Traffic Overview provided).

A. NO AUTHORITY FOR TRAFFIC STUDY OR THIRD-PARTY REVIEW:

1. Milford Ordinance §18-90.2 does not contemplate a third-party traffic review on a project of this size and limited scope. (See enclosed Board of Aldermen minutes from 2015 when Ordinance §18-90.2 was approved).
2. There is no Milford Zoning Regulation provision for the LI Zone that requires an applicant to provide a traffic study or allow for a third-party consultant. Special Permit §7.2.1(2) does state, "The applicant shall be required to submit a traffic study prepared by a licensed traffic engineer with any application which generates 100 or more vehicular trips during the peak hour.

B. REGULATIONS:

Milford Zoning Regulations.

§7.2.1(2) Plans shall be reviewed by the Police Department with regard to public safety and traffic conditions. Such review shall be set forth in a report detailing existing or anticipated traffic conditions and/or hazards on streets leading to the site, ingress and egress to the site; and any other public safety consideration. **The applicant shall be required to submit a traffic study prepared by a licensed traffic engineer with any application which generates 100 or more vehicular trips during the peak hour.**

Milford City Ordinance §18-90.2. Consultants. [Added 8-3-2015]

(a) The Director of Permitting and Land Use or his designee, in consultation with the City Planner, or otherwise, **shall make a determination whether one or more outside consultant(s) are needed to analyze, review and report on areas requiring technical review, and based on the nature, size or intensity of the land use application, it shall require use of consultants.** Such consultant(s) may include, but shall not be limited to, engineers, surveyors, soil scientists, **traffic consultants** and information technologists.

(b) The **Planning and Zoning Board** may also make a determination that one or more outside consultant(s) are needed, and based on the nature, size or intensity of the land use application, it shall require use of consultants. **However, prior to making such a determination, the Planning and Zoning Board shall ascertain that evidence in the record of the proceedings has been produced or is likely to be**

produced that requires the hiring of such consultant(s); that the Department staff will be unable to perform the technical review; and that adequate time exists for the applicant to review and respond to such consultant(s)' report(s). (emphasis added).

C. APPLICANT POSITION:

Requiring a traffic study and third-party consultant review for this application without the Board hearing and reviewing the evidence first is arbitrary and leads to unnecessary costs and potentially inequitable results. Simply put, the number of peak hour trips are 30 trips short (30% short) of the minimum standard to require a traffic study, and this project clearly is not a large project that would invoke Ordinance §18-90.2 as envisioned by the Board of Aldermen in their reasoning to approve.

Unfortunately, there is no standard for determining whether a third-party consultant may be required and that requirement does not exist within the Zoning Regulations. When there is no clear standard to determine whether to apply a regulation, it leads to arbitrary and inequitable results and substantial costs to an applicant that may not be required of other applicants. When there is no standard, it is helpful to look at how and why an Ordinance came to be. In this case, we can review the minutes of the August 3, 2015 Board of Aldermen meeting when the Ordinance was approved. (See excerpts below and Minutes enclosed).

“Ald. Giannattasio expressed concern that the Ordinance would be mis-used and people doing smaller jobs would be hurt. He recognized the DPLU director who was present and asked him how smaller projects would be handled and assurances the Ordinance not burden the small businessman.

Mr. Griffith stated they are currently in the process of constructing the new Shop Rite. He spoke of the State codes and the criteria that define a threshold building. He pointed out the Inland Wetlands Agency has the process in place to have consultants put in place for a particular project.

... Mr. Griffith stated it would allow staff to have the necessary information available at hearings concerning large projects.

Ald. Casey commented the Ordinance also allows the director to require a consultant when necessary. ***He asked if there is anything in place that prevents a medium size project from having to pay exorbitant fees for consultants.***”

Mr. Griffith stated it would be a well defined scope of work.

Ald. Casey stated it was his understanding each project already goes through several city departments so that projects are currently being well vetted. He asked how he would envision the issues the departments would have to address.

Mr. Griffith stated there have been at least 3-4 applications where a third party expert was needed. (emphasis added).

The Ordinance was adopted for Shop Rite Plaza size “threshold building” projects. Shop Rite is an 11-acre site with approximately 100,000 SF of building.

Unlike the Ordinance, there is a standard in the Zoning Regulations for when a Traffic Study is required, 100 trips per peak hour (§7.2.1(2)). Requiring both a traffic study and a third-party traffic review disregards the intent of the Ordinance and the letter of the Zoning Regulations. Further, it imposes significant additional costs without the Planning and Zoning Board’s analysis thereby taking away the Board’s decision-making authority.

Now, if this were a situation where the proposed project was much more substantial, or if there were to be no public hearing and the Board was not going to hear evidence on this application, then it *may* make sense to utilize this Ordinance.

Here, however, it does not apply. This is not a “threshold building” * or “large project” and there is no “well defined scope of work” in operation that clearly defines why a third-party review is required for this application when the trips per peak hour is 30% below the minimum. The City Planner is actually requiring two (2) traffic studies, both of which are to be paid for by the applicant: One study by the applicant’s expert; and a second one by a third-party consultant that the applicant must pay for.

Notably, per Michael Dion, P.E., P.T.O.E. (Certification as a Professional Traffic Operations Engineer), of BL Companies the total number of **trips per peak hour will be 70, which is 30 (also 30%) less than the 100 vehicle trips per peak hour** trigger/requirement by MZR (§7.2.1(2)). See his Traffic Overview provided.

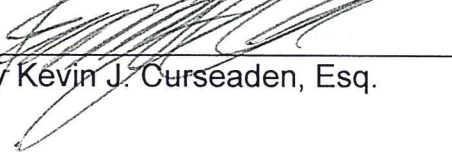
Respectfully, requiring a third-party consultant prior to hearing the evidence on the application is arbitrary and premature. It’s an extremely costly demand (Over \$20,000.00 for both the study and the 3rd part consultant) which is not based on the facts of the application, the use, or in the regulations.

D. COASTAL SITE PLAN.

The project does not negatively impact Coastal Resources.

The Board should hear the application and the evidence, review and analyze the facts in conjunction with the applicable regulations and make a determination.

Applicant
Durham School Services, Limited Partnership


By Kevin J. Curseaden, Esq. Date 2/22/22

* **C.G.S. §29-276b. "Threshold limit" defined.** Requirements when structure or addition will exceed threshold limit. Standards for facilities which perform testing of construction materials

(a) For the purposes of this section, the term "threshold limit" shall apply to any structure or addition thereto (1) having four stories, (2) sixty feet in height, (3) with a clear span of one hundred fifty feet in width, (4) containing one hundred fifty thousand square feet of total gross floor area, or (5) with an occupancy of one thousand persons.

Conn. Gen. Stat. Ann. § 29-276b (West)

**615 PLAINS ROAD
SPECIAL EXCEPTION & COASTAL AREA SITE PLAN
STATEMENT OF USE**

I. Property

Address: 615 Plains Road

Tax Map: MAP 62 BLOCK 928 PARCEL 4B

Zone: LI

Acreage: = 3.0 Acres

Building SF: Total 13,694 SF

Existing Building: 13,694 +/- SF

Use on Adjoining Lots & Vicinity: Milford Riders Motorcycle Club, Storage, Vacant,
Contractor Shop/Office, Landfill

II. Prior/Existing Use: Manufacturer of man-lifts for utility trucks.

III. Proposed Use:

Special Exception: School bus base of operations, storage, fueling, maintenance for school buses.

The existing footprint of the 13,694 +/- SF building will not change.

An outdoor self-contained fueling station has also been built on the site with the use pending zoning approval.

Hours of Operation:

During the school year: Monday – Friday, first bus out is at 6:00 AM with the rest being staggered start times until 7:15AM. All buses return in the morning between 8:30AM and 9:15 AM. Mid-Day routes are out between 10:30 AM and 11:30 AM back by 12:30 PM. Afternoon routes - some are at 1:15 PM and depending on the day, home to school routes are back by 5:00 PM. Also, depending on sports trips those buses may return at 10:30 PM or later.

Saturdays there will be sports trips depending on the season.

Summer: Between 12:00 PM and 2 PM - 20 trips at most.

Route to and from property: Exit on to Plains Road, turn on to Shelland St. and then on to Bic Drive. Returning via Bic Drive, Shelland, Plains and entering property from Raton Dr.

Proposed Number of Trips and Routes: Per P.E., P.T.O.E. (Certification as a Professional Traffic Operations Engineer) Michael Dion of BL Companies, the total number of trips per peak hour will be 70. (See Traffic Overview provided).

A. ISSUES FOR DISCUSSION:

1. Whether Milford Ordinance §18-90.2 provides authority to require an applicant to pay for a third-party traffic consultant on a project of this size and limited scope. (See enclosed Board of Aldermen minutes from 2015 when Ordinance §18-90.2 was approved).
2. Whether Milford Zoning Regulations §3.20.6 requires an applicant to provide a traffic study on a use that **generates less than 100 vehicle trips** during a peak hour? (See enclosed MZR §3.20.6).

B. REGULATIONS:

Milford Zoning Regulations §3.20.6 Other Requirements.

§3.20.6.1 Traffic Study: All uses generating over one hundred (100) vehicle trips during a peak hour shall submit a traffic study prepared by a licensed traffic engineer.

Milford City Ordinance Sec. 18-90.2. Consultants. [Added 8-3-2015]

(a) The Director of Permitting and Land Use or his designee, in consultation with the City Planner, or otherwise, **shall make a determination whether one or more outside consultant(s) are needed to analyze, review and report on areas requiring technical review, and based on the nature, size or intensity of the land use application, it shall require use of consultants.** Such consultant(s) may include, but shall not be limited to, engineers, surveyors, soil scientists, **traffic consultants** and information technologists.

(b) The **Planning and Zoning Board** may also make a determination that **one or more outside consultant(s) are needed**, and based on the nature, size or intensity of the land use application, it shall require use of consultants. **However, prior to making such a determination, the Planning and Zoning Board shall ascertain that evidence in the record of the proceedings has been produced or is likely to be produced that requires the hiring of such consultant(s);** that the Department staff will be unable to perform the technical review; and that adequate time exists for the applicant to review and respond to such consultant(s)' report(s).

APPLICANT POSITION:

Requiring a third-party consultant and traffic study for this application without the Board hearing and reviewing the evidence first is arbitrary and leads to unnecessary costs and potentially inequitable results.

Unfortunately, there is no standard for determining whether a third-party consultant may be required and that requirement does not exist within the Zoning Regulations. When there is no clear standard to determine whether to apply a regulation, it leads to arbitrary and inequitable results and substantial costs to an applicant that may not be required of other applicants. When there is no standard, it is helpful to look at how and why an Ordinance came to be. In this case, we can review the minutes of the August 3, 2015 Board of Aldermen meeting when the Ordinance was approved. (See excerpts below and Minutes enclosed).

“Ald. Giannattasio expressed concern that the Ordinance would be mis-used and people doing smaller jobs would be hurt. He recognized the DPLU director who was present and asked him how smaller projects would be handled and assurances the Ordinance not burden the small businessman.

Mr. Griffith stated they are currently in the process of constructing the new Shop Rite. He spoke of the State codes and the criteria that define a threshold building. He pointed out the Inland Wetlands Agency has the process in place to have consultants put in place for a particular project.

... Mr. Griffith stated it would allow staff to have the necessary information available at hearings concerning large projects.

Ald. Casey commented the Ordinance also allows the director to require a consultant when necessary. ***He asked if there is anything in place that prevents a medium size project from having to pay exorbitant fees for consultants.***”

Mr. Griffith stated it would be a well defined scope of work.

Ald. Casey stated it was his understanding each project already goes through several city departments so that projects are currently being well vetted. He asked how he would envision the issues the departments would have to address.

Mr. Griffith stated there have been at least 3-4 applications where a third party expert was needed.”

The Ordinance was adopted for Shop Rite Plaza size “threshold building” projects. Shop Rite is an 11 acre site with approximately 100,000 SF of building.

Unlike the Ordinance, there is a standard in the Zoning Regulations for when a Traffic Study is required, 100 trips per peak hour. Requiring both a traffic study and a third-

party traffic review disregards the intent of the Ordinance and the letter of the Zoning Regulations. Further, it imposes significant additional costs without the Planning and zoning Board's analysis thereby taking away the Board's decision-making authority.

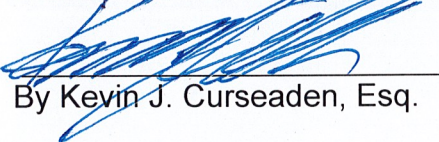
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Notably, per Michael Dion, P.E., P.T.O.E. (Certification as a Professional Traffic Operations Engineer), of BL Companies the total number of **trips per peak hour will be 70, which is 30 (also 30%) less than the 100 vehicle trips per peak hour** trigger/requirement by MZR 3.20.6.1. See his Traffic Overview provided.

Respectfully, requiring a third-party consultant prior to hearing the evidence on the application is arbitrary and premature. It's an extremely costly demand (Over \$20,000.00 for both the study and the 3rd part consultant) which is not based on the facts of the application, the use, or in the regulations. The Board should hear the application and the evidence, review and analyze the facts in conjunction with the applicable regulations and then decide whether a Traffic Study is warranted.

Applicant
Durham School Services, Limited Partnership

 29DEC21
By Kevin J. Curseaden, Esq. Date

***C.G.S. §29-276b. "Threshold limit" defined.** Requirements when structure or addition will exceed threshold limit. Standards for facilities which perform testing of construction materials

(a) For the purposes of this section, the term "threshold limit" shall apply to any structure or addition thereto (1) having four stories, (2) sixty feet in height, (3) with a clear span of one hundred fifty feet in width, (4) containing one hundred fifty thousand square feet of total gross floor area, or (5) with an occupancy of one thousand persons.

Conn. Gen. Stat. Ann. § 29-276b (West)



615 Plains Road, LLC

Received DPLU

6/11/21

STATEMENT OF PROPOSED USE

615 Plains Road, LLC is the owner of 615 Plains Road. Our company has entered into a long term lease with Durham School Services/National Transportation for the subject property and its improvements. Durham will be utilizing the property to service its transportation contract with the City of Milford School Systems.

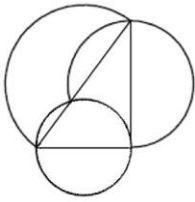
Durham intends to utilize the building for general office, dispatch, bus inspections, and general maintenance. "Maintenance" will only involve incidental work on the buses . No vehicle washing or engine maintenance will be performed. The proposed improvements to the surface parking lot will be used for school bus and employee parking. We are anticipating 69 school buses and 67 employees including drivers and 8 on site staff employees.

There will be no parking spaces for visitor parking, as none will be required.

Hours of operation will be 6AM-4 PM weekdays.

All traffic , including buses, will access the property from Bic drive/Shelland St.

Jason B Julian, member



CT CIVIL GROUP, LLC

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MILFORD, CT 06460

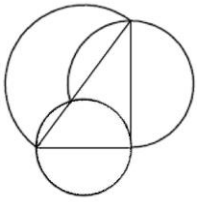
PHONE: (203)874-8316
EMAIL: info@ctcivilgroup.com

July 1, 2021

Hydrology Study
615 Plains Rd, Milford, CT

Prepared by
Ronald W. Wassmer PE & LS





CT CIVIL GROUP, LLC

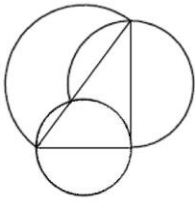
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Hydrology Study
615 Plains Rd, Milford, CT

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2. Hydrology Study Report summary
3. Water Quality Volume Report
4. Hydraflow Hydrograph Reports



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Storm Water Management Report Hydrology Study 615 Plains Rd, Milford, CT

This study is prepared for use with site plan application of 615 Plains Rd, Milford, CT. The following is an analysis of pre and post construction storm water runoff with recommendations for on site storm water detention to demonstrate that the proposed development will not increase storm water runoff from the proposed development.

The storm frequency utilized for this analysis is a 25yr storm of 24Hr duration resulting in 5.6 inches of rainfall. This is the guideline per "The City of Milford- Engineering Bureau, Engineering Guidelines For Preparation of Site Plans, Plot Plans and Other Proposed Property Development Plans Dated April 2001." Runoff volume and rates are determined utilizing soil conservation service TR-55 through the use of Hydraflow® software. On site infiltration galleys are proposed to attenuate post construction runoff volumes and rates to levels below the current conditions. The design meets the recommendations of the State of Connecticut "Storm Water Quality Manual." Drainage structures are proposed to achieve the recommended water quality. Infiltration galleys are provided to detain and infiltrate storm runoff.

The soils are Udorthents hydrologic soil group B and are well-drained soils.

Existing Conditions

The existing site contains a industrial building, a trailer, a driveway, parking area, and a lawn area. For this analysis this is considered the "pre-construction" runoff conditions.

The weighted curve numbers (Cn), time of concentration (Tc), the resulting runoff volume (Vol.) and maximum runoff rates (Qp) are as follows:

Drainage Area = 130,679 Sq.Ft. 3.0 Ac.

Weighted Cn=92

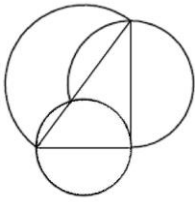
Impervious/Paved Areas = 108,310 Sq.Ft. Cn = 98

Lawn Areas = 22,369 Sq.Ft. Cn = 61

Tc= 9.0 min

Runoff volume for a 25 year storm of 24 hr. duration = 50,928 Cu.Ft.

Max. runoff rate (Qp) = 14.07 cfs



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Proposed Conditions

The proposed re-development is to reconstruct a parking area and driveway. The existing building will remain. For this analysis this is considered the “post-construction” conditions. The site area is divided into two parts.

The weighted curve numbers (Cn), time of concentration (Tc), the resulting runoff volume (Vol.) and maximum runoff rates (Qp) are as follows:

Drainage Area = 1 93,007 Sq.Ft. 2.135 Ac.
Weighted Cn=83
 Impervious/Paved Areas = 78,399 Sq.Ft. Cn = 98
 Lawn Areas = 14,608 Sq.Ft. Cn = 61
Tc= 8.9 min
Runoff volume for a 25 year storm of 24 hr. duration = 36,244 Cu.Ft.
Max. runoff rate (Qp) = 10.01 cfs

Drainage area 1 is directed towards a catch basin with a water quality chamber and routed through galleys #1 which is 5 rows of 88lf of 4'tall x 4'wide concrete galleys with 12" of 1" broken stone on the sides and bottom.

Drainage Area = 2 28,461 Sq.Ft. 0.653 Ac.
Weighted Cn=93
 Impervious/Paved Areas = 24,867 Sq.Ft. Cn = 98
 Lawn Areas = 3,594 Sq.Ft. Cn = 61
 Tc= 4.2 min
Runoff volume for a 25 year storm of 24 hr. duration = 10,640 Cu.Ft.
Max. runoff rate (Qp) = 3.3 cfs

Drainage area 2 is directed towards a catch basin with a water quality chamber and routed through galleys #2 which is 3 rows of 80lf of 4'tall x 4'wide concrete galleys with 12" of 1" broken stone on the sides and bottom. There is a high-level overflow 8" outlet that is directed to galleys #1.

The outflow from the proposed galleys #2 area is: Hydrograph 3

Max. Runoff rate = 0.808 cfs
Runoff Volume = 1,736 Cu Ft.
The peak storage in the galley is 3,882 Cu Ft
The infiltration rate used is 3.0 In. / Hour

Drainage Area 1 and Drainage Area 2 routed outflow are combined as: Hydrograph 4

Max. Runoff rate = 10.01 cfs
Runoff Volume = 37,980 Cu Ft.

Hydrograph 4 is routed through galleys #1 resulting in Hydrograph 5 with rates and volumes as follows:

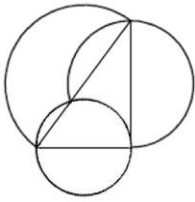
Max. Runoff rate = 8.325 cfs
Runoff Volume = 14,735 Cu Ft.
The peak storage in the galley is 7,178 Cu Ft
The infiltration rate used is 5.0 In. / Hour

This demonstrates that the post construction volume and rate is less than the pre-construction volume and rate.

There are two overflow outlets from galleys #1 that are directed towards a catch basin #2 and then out to an existing municipal storm drain in Plains Road catch basin #1.

Results of the hydrology routing are attached.

Ronald W. Wassmer
CT PEL #16975



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Water Quality Volume Report 615 Plains Rd, Milford, CT

CT DEP 2004 Storm Water Quality Manual recommends a minimum Water Quality Volume. Water Quality is achieved through water quality chambers and infiltration trench (galley). Water Quality Volume (WQV) and Groundwater Recharge Volume (GRV) are computed utilizing the guidelines presented in the 2004 Connecticut Storm Water Quality Manual.

Drainage Area

Area size = 130,582 Sq.Ft 3.0 Ac.
Impervious area = 103,266 Sq. Ft.
 $103266/130582 = 0.7908 = 79.08\%$

Water Quality Volume

WQV in Acre Feet = $1''(R)(A)/12$
R= Volumetric runoff coefficient = $0.05 + 0.009(I)$
I = percent impervious = (79.08%) for the site (post construction)
R = $0.05 + 0.009(79.08) = 0.7617$
A=Site area in Acres = 3.0

WQV = $1''(0.7616)(3.0) = 2.2835/12 = 0.1904 \text{ AcFt} = 8295.2 \text{ cu.ft.}$

The water quality volume is reduced by the groundwater recharge volume (GRV).

The soil type is Udorthents and hydrologic soil group is B.

GRV in Acre Feet = $(D)(A)(I)/12$
D = depth of runoff to be recharged (inches) = 0.25 inches
A = Site area in acres = 3.0
I = post development impervious decimal = 0.7908

GRV = $(0.25)(3.0)(0.7908) = 0.5931/12 = 0.0494 \text{ AcFt} = 2,152.9 \text{ cu.ft.}$

WQV recommended = $8295.2 - 2152.9 = 6142.3 \text{ cu.ft.}$

WQV provided is 11,060 cu.ft.

The water quality volume is provided from a total of 680lf of 4' tall x 4' wide concrete galleys with 12" of 1" broken stone on the sides and bottom. There are two water quality chambers, StormCeptor 450i provided.

Ronald W. Wassmer
CT PEL #16975

Watershed Model Schematic

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5



Legend

<u>Hyd.</u>	<u>Origin</u>	<u>Description</u>
1	SCS Runoff	Pre-constr

Hydrograph Return Period Recap

Hydroflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	SCS Runoff	-----	-----	-----	-----	-----	12.39	14.07	-----	-----	Pre-constr

Hydrograph Summary Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5

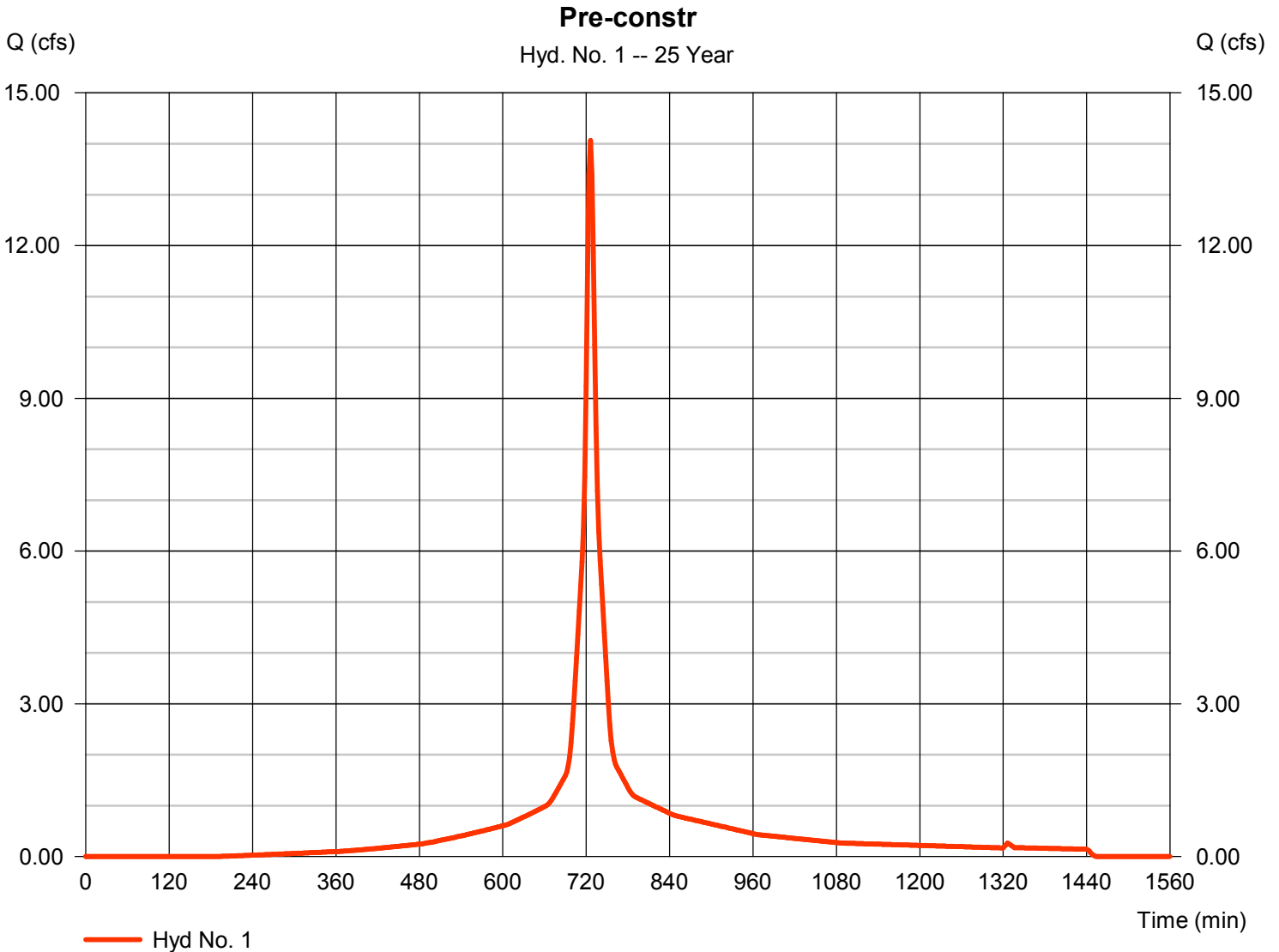
Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	14.07	2	726	50,928	-----	-----	-----	Pre-constr
Pre-constr 615 Plains Rd.gpw					Return Period: 25 Year		Thursday, 07 / 1 / 2021		

Hydrograph Report

Hyd. No. 1

Pre-constr

Hydrograph type	= SCS Runoff	Peak discharge	= 14.07 cfs
Storm frequency	= 25 yrs	Time to peak	= 726 min
Time interval	= 2 min	Hyd. volume	= 50,928 cuft
Drainage area	= 3.000 ac	Curve number	= 92
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 9.00 min
Total precip.	= 5.60 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484



TR55 Tc Worksheet

Hyd. No. 1

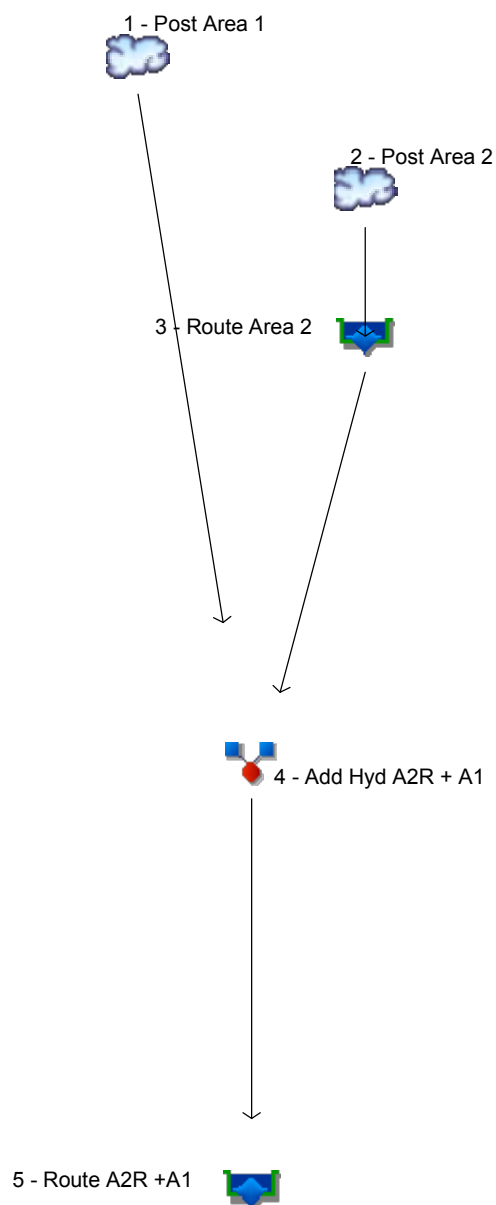
Pre-constr

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>
Sheet Flow							
Manning's n-value	= 0.023		0.023		0.011		
Flow length (ft)	= 226.0		74.0		0.0		
Two-year 24-hr precip. (in)	= 3.30		3.30		0.00		
Land slope (%)	= 3.10		0.40		0.00		
Travel Time (min)	= 3.47	+	3.22	+	0.00	=	6.69
Shallow Concentrated Flow							
Flow length (ft)	= 179.00		0.00		0.00		
Watercourse slope (%)	= 0.40		0.00		0.00		
Surface description	= Paved		Paved		Paved		
Average velocity (ft/s)	=1.29		0.00		0.00		
Travel Time (min)	= 2.32	+	0.00	+	0.00	=	2.32
Channel Flow							
X sectional flow area (sqft)	= 0.00		0.00		0.00		
Wetted perimeter (ft)	= 0.00		0.00		0.00		
Channel slope (%)	= 0.00		0.00		0.00		
Manning's n-value	= 0.015		0.015		0.015		
Velocity (ft/s)	=0.00		0.00		0.00		
Flow length (ft)	{{0}}0.0		0.0		0.0		
Travel Time (min)	= 0.00	+	0.00	+	0.00	=	0.00
Total Travel Time, Tc							9.00 min

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25 - Year	
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TR-55 Tc Worksheet.....	5

Watershed Model Schematic

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5



Legend

Hyd.	Origin	Description
1	SCS Runoff	Post Area 1
2	SCS Runoff	Post Area 2
3	Reservoir	Route Area 2
4	Combine	Add Hyd A2R + A1
5	Reservoir	Route A2R + A1

Hydrograph Return Period Recap

Hydroflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	SCS Runoff	-----	-----	-----	-----	-----	-----	10.01	-----	-----	Post Area 1
2	SCS Runoff	-----	-----	-----	-----	-----	-----	3.300	-----	-----	Post Area 2
3	Reservoir	2	-----	-----	-----	-----	-----	0.808	-----	-----	Route Area 2
4	Combine	1, 3	-----	-----	-----	-----	-----	10.01	-----	-----	Add Hyd A2R + A1
5	Reservoir	4	-----	-----	-----	-----	-----	8.325	-----	-----	Route A2R +A1

Hydrograph Summary Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5

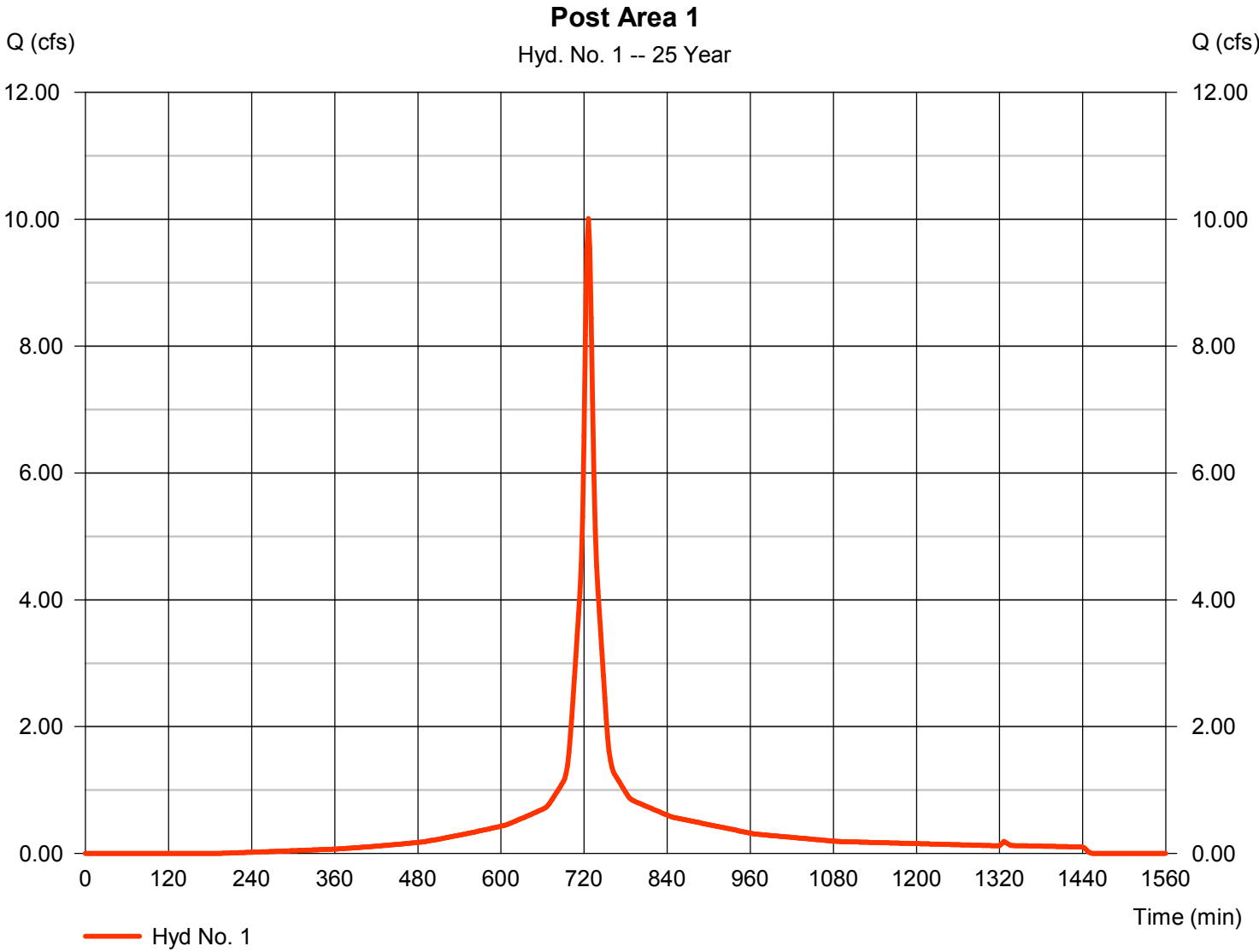
Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	10.01	2	726	36,244	-----	-----	-----	Post Area 1	
2	SCS Runoff	3.300	2	724	10,640	-----	-----	-----	Post Area 2	
3	Reservoir	0.808	2	740	1,736	2	52.72	3,882	Route Area 2	
4	Combine	10.01	2	726	37,980	1, 3	-----	-----	Add Hyd A2R + A1	
5	Reservoir	8.325	2	730	14,735	4	53.71	7,178	Route A2R +A1	
POST-constr routedArea1+2 615 Plains Rd.gp					Return Period: 25 Year			Thursday, 07 / 1 / 2021		

Hydrograph Report

Hyd. No. 1

Post Area 1

Hydrograph type	= SCS Runoff	Peak discharge	= 10.01 cfs
Storm frequency	= 25 yrs	Time to peak	= 726 min
Time interval	= 2 min	Hyd. volume	= 36,244 cuft
Drainage area	= 2.135 ac	Curve number	= 92
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 8.90 min
Total precip.	= 5.60 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5

Hyd. No. 1

Post Area 1

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>
Sheet Flow							
Manning's n-value	= 0.016		0.016		0.011		
Flow length (ft)	= 222.0		78.0		0.0		
Two-year 24-hr precip. (in)	= 3.30		3.30		0.00		
Land slope (%)	= 0.45		3.50		0.00		
Travel Time (min)	= 5.53	+	1.06	+	0.00	=	6.59
Shallow Concentrated Flow							
Flow length (ft)	= 10.00		0.00		0.00		
Watercourse slope (%)	= 3.50		0.00		0.00		
Surface description	= Paved		Paved		Paved		
Average velocity (ft/s)	=3.80		0.00		0.00		
Travel Time (min)	= 0.04	+	0.00	+	0.00	=	0.04
Channel Flow							
X sectional flow area (sqft)	= 0.79		0.00		0.00		
Wetted perimeter (ft)	= 3.14		0.00		0.00		
Channel slope (%)	= 0.50		0.00		0.00		
Manning's n-value	= 0.015		0.015		0.015		
Velocity (ft/s)	=2.77		0.00		0.00		
Flow length (ft)	({})385.0		0.0		0.0		
Travel Time (min)	= 2.31	+	0.00	+	0.00	=	2.31
Total Travel Time, Tc							8.90 min

Hydrograph Report

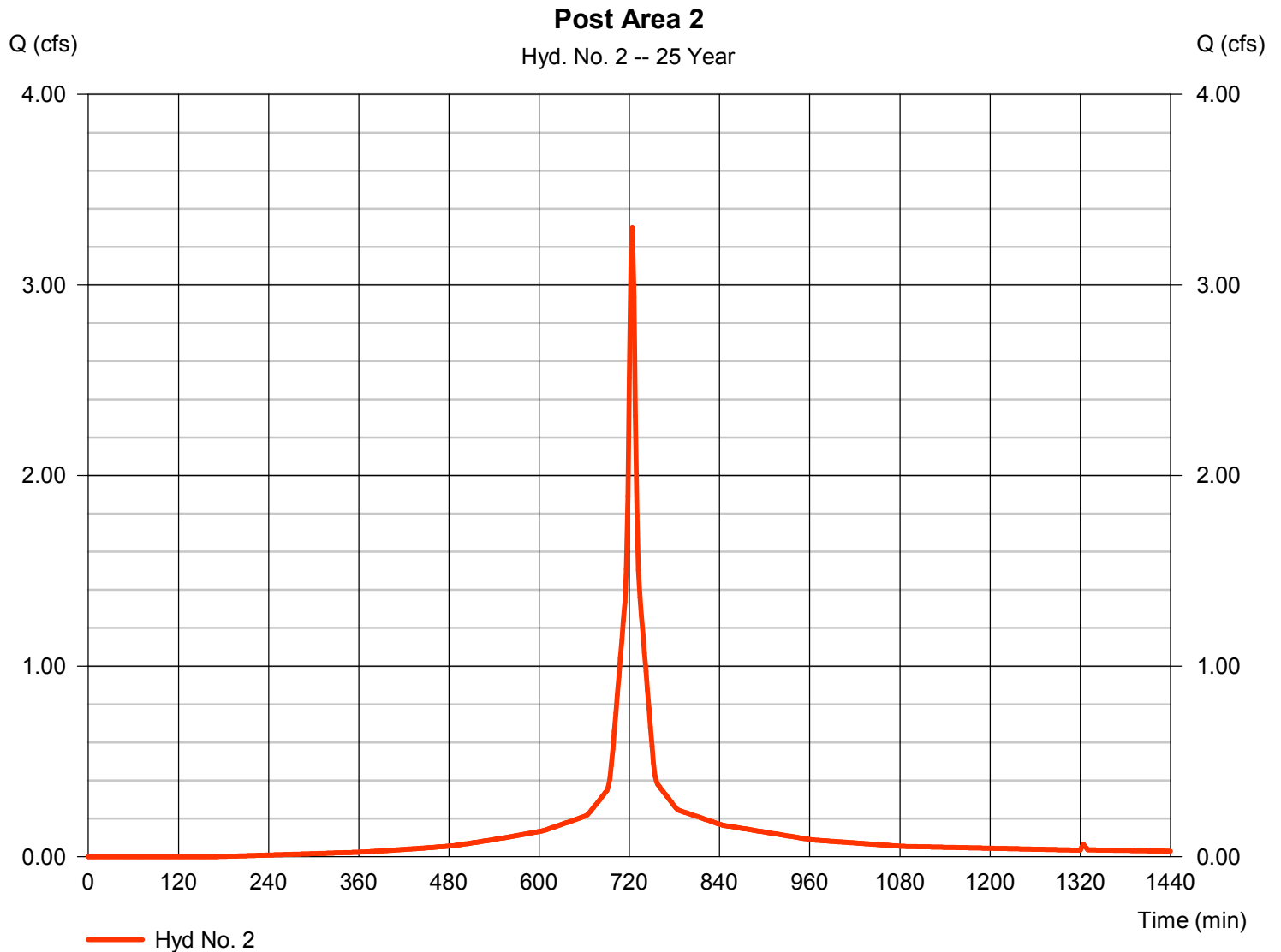
Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5

Thursday, 07 / 1 / 2021

Hyd. No. 2

Post Area 2

Hydrograph type	= SCS Runoff	Peak discharge	= 3.300 cfs
Storm frequency	= 25 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 10,640 cuft
Drainage area	= 0.653 ac	Curve number	= 93
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 4.20 min
Total precip.	= 5.60 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5

Hyd. No. 2

Post Area 2

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.016	0.016	0.011	
Flow length (ft)	= 168.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 3.30	0.00	0.00	
Land slope (%)	= 0.53	0.00	0.00	
Travel Time (min)	= 4.15	+ 0.00	+ 0.00	= 4.15
Shallow Concentrated Flow				
Flow length (ft)	= 0.00	0.00	0.00	
Watercourse slope (%)	= 0.00	0.00	0.00	
Surface description	= Paved	Paved	Paved	
Average velocity (ft/s)	=0.00	0.00	0.00	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Channel Flow				
X sectional flow area (sqft)	= 0.79	0.00	0.00	
Wetted perimeter (ft)	= 3.14	0.00	0.00	
Channel slope (%)	= 1.25	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=4.39	0.00	0.00	
Flow length (ft)	20.0	0.0	0.0	
Travel Time (min)	= 0.08	+ 0.00	+ 0.00	= 0.08
Total Travel Time, Tc				4.20 min

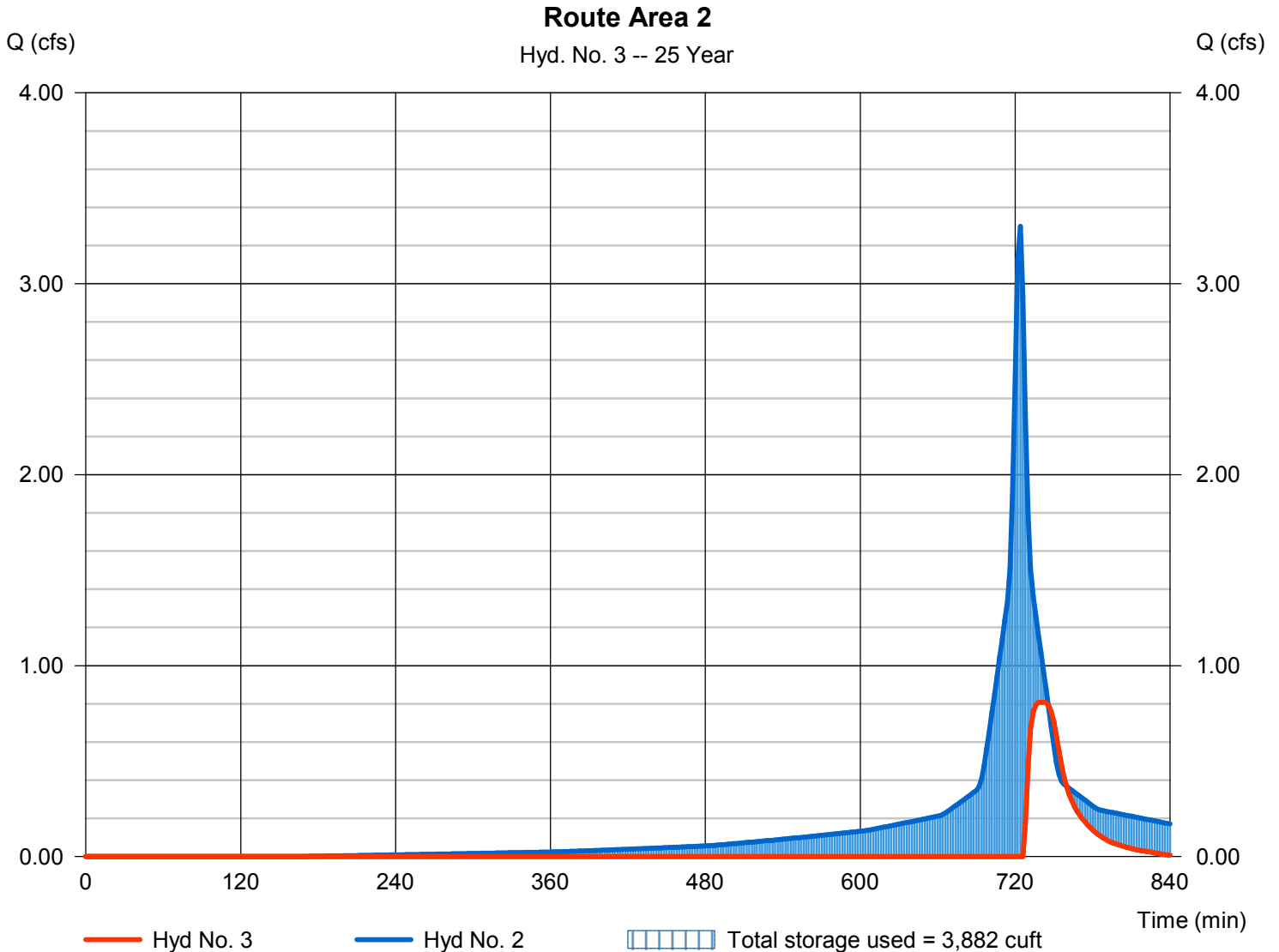
Hydrograph Report

Hyd. No. 3

Route Area 2

Hydrograph type	= Reservoir	Peak discharge	= 0.808 cfs
Storm frequency	= 25 yrs	Time to peak	= 740 min
Time interval	= 2 min	Hyd. volume	= 1,736 cuft
Inflow hyd. No.	= 2 - Post Area 2	Max. Elevation	= 52.72 ft
Reservoir name	= Galleys 2	Max. Storage	= 3,882 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



Pond No. 1 - Galleys 2

Pond Data

UG Chambers -Invert elev. = 49.50 ft, Rise x Span = 4.00 x 4.00 ft, Barrel Len = 80.00 ft, No. Barrels = 3, Slope = 0.00%, Headers = No
Encasement -Invert elev. = 48.50 ft, Width = 5.00 ft, Height = 5.00 ft, Voids = 40.00%

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	48.50	n/a	0	0
0.50	49.00	n/a	240	240
1.00	49.50	n/a	240	480
1.50	50.00	n/a	528	1,008
2.00	50.50	n/a	528	1,536
2.50	51.00	n/a	528	2,064
3.00	51.50	n/a	528	2,593
3.50	52.00	n/a	528	3,121
4.00	52.50	n/a	528	3,649
4.50	53.00	n/a	528	4,177
5.00	53.50	n/a	528	4,705

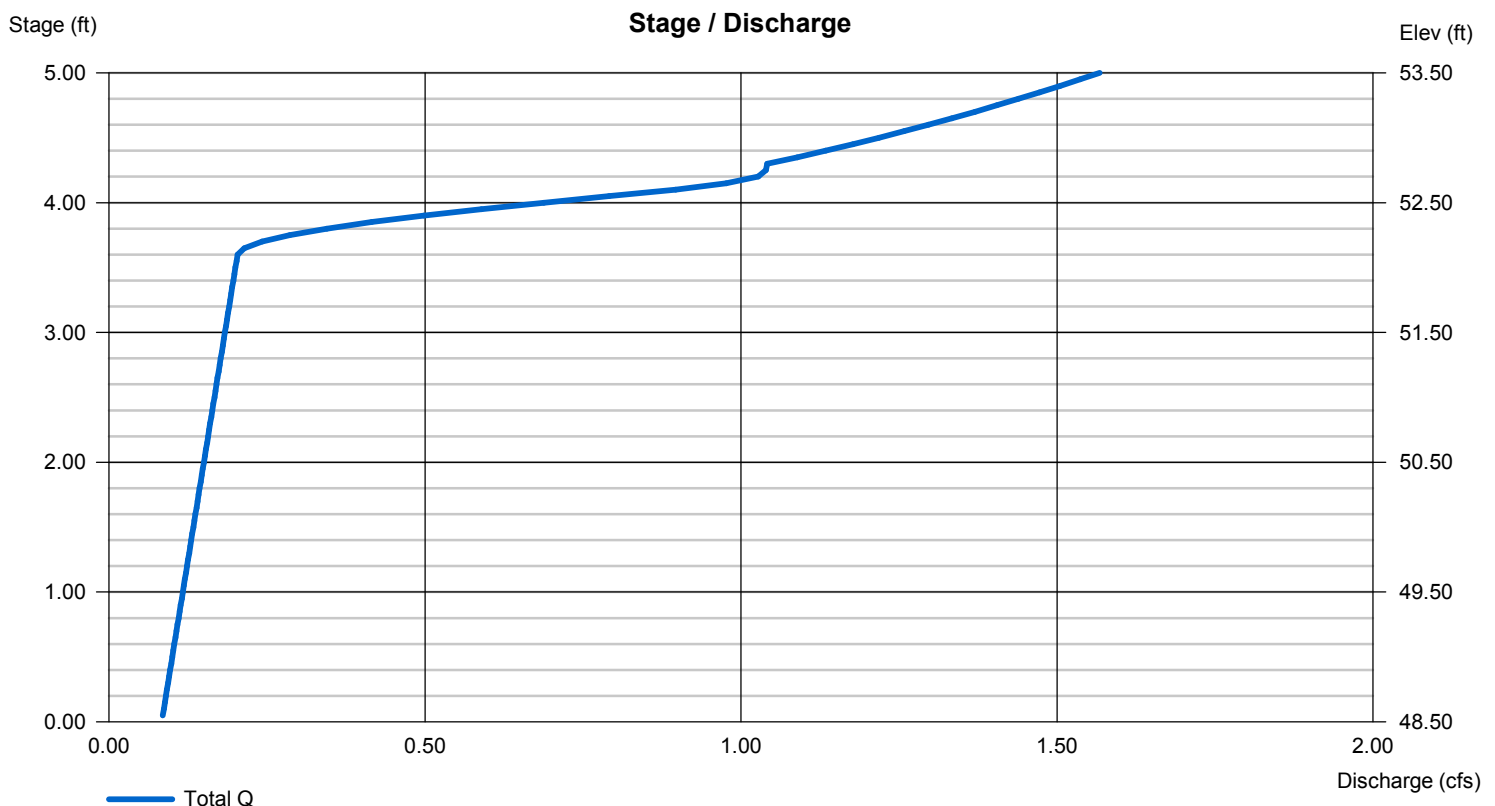
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 8.00	Inactive	Inactive	Inactive
Span (in)	= 8.00	0.00	0.00	0.00
No. Barrels	= 1	1	0	0
Invert El. (ft)	= 52.10	0.00	0.00	0.00
Length (ft)	= 80.00	0.00	0.00	0.00
Slope (%)	= 0.50	0.00	0.00	n/a
N-Value	= .012	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	0.00	0.00	0.00
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= ---	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 3.000 (by Wet area)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).



Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5

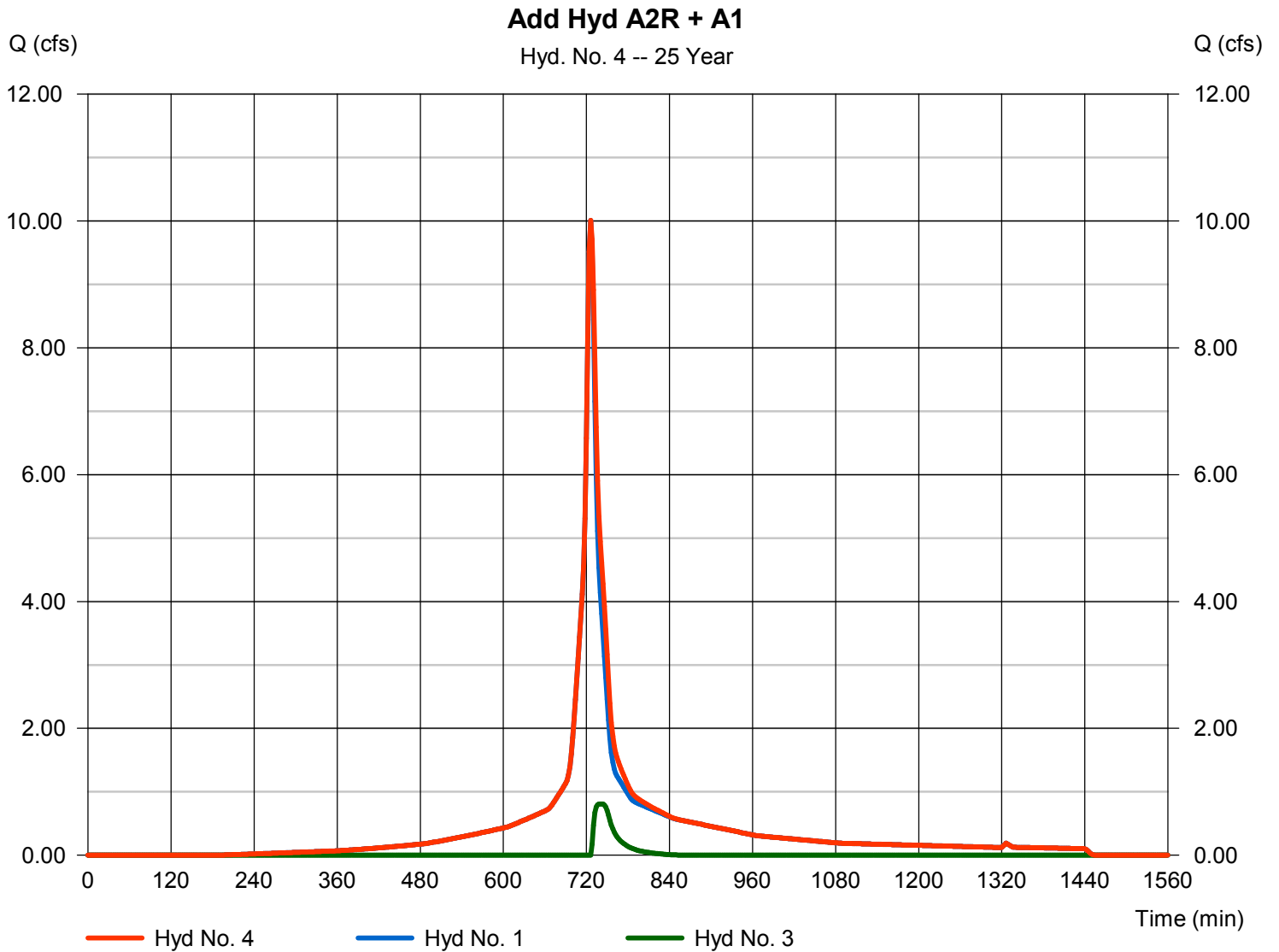
Thursday, 07 / 1 / 2021

Hyd. No. 4

Add Hyd A2R + A1

Hydrograph type = Combine
 Storm frequency = 25 yrs
 Time interval = 2 min
 Inflow hyds. = 1, 3

Peak discharge = 10.01 cfs
 Time to peak = 726 min
 Hyd. volume = 37,980 cuft
 Contrib. drain. area = 2.135 ac



Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2016 by Autodesk, Inc. v10.5

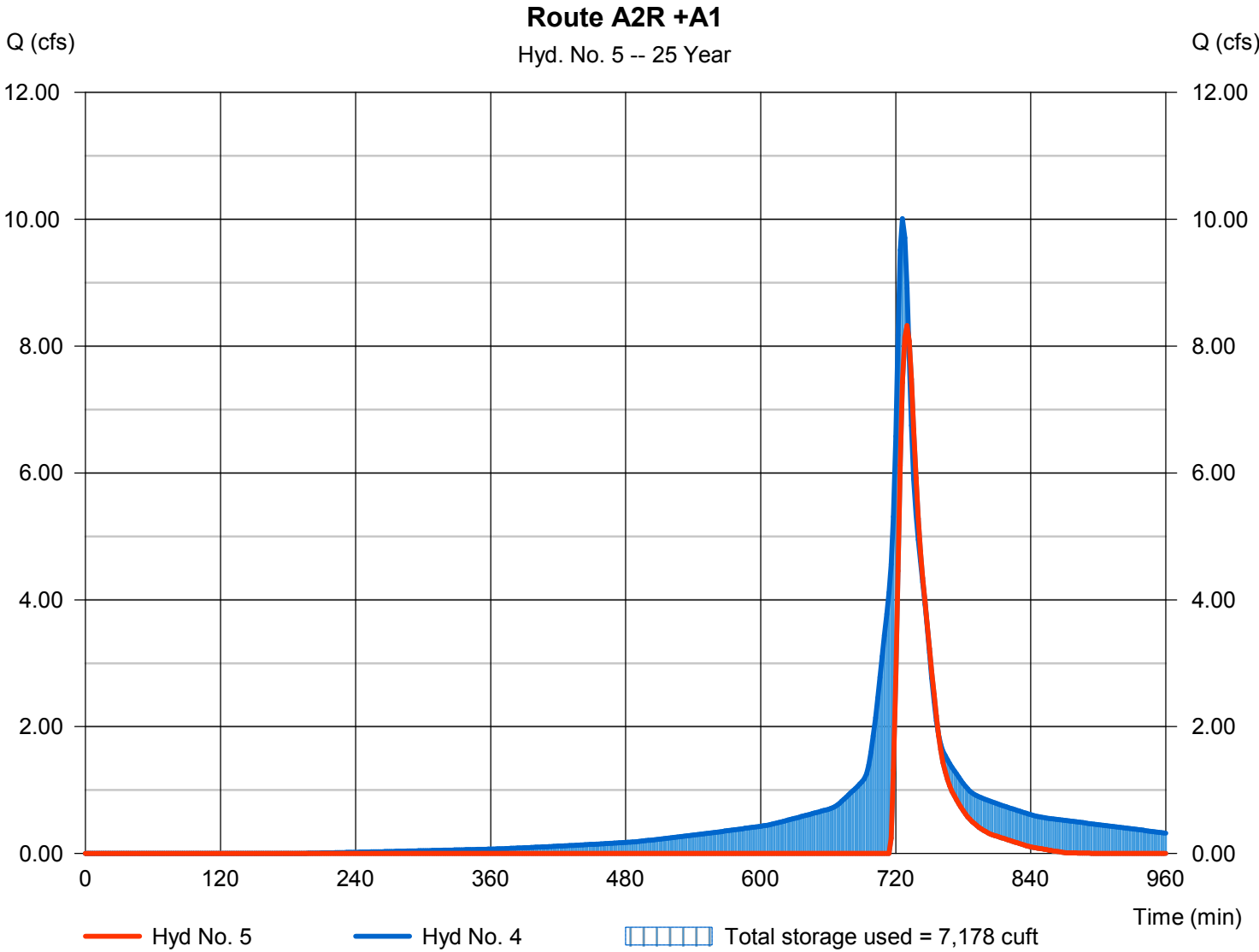
Thursday, 07 / 1 / 2021

Hyd. No. 5

Route A2R +A1

Hydrograph type	= Reservoir	Peak discharge	= 8.325 cfs
Storm frequency	= 25 yrs	Time to peak	= 730 min
Time interval	= 2 min	Hyd. volume	= 14,735 cuft
Inflow hyd. No.	= 4 - Add Hyd A2R + A1	Max. Elevation	= 53.71 ft
Reservoir name	= Galley Area 1	Max. Storage	= 7,178 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



Pond No. 2 - Galley Area 1

Pond Data

UG Chambers -Invert elev. = 50.45 ft, Rise x Span = 4.00 x 4.00 ft, Barrel Len = 88.00 ft, No. Barrels = 5, Slope = 0.00%, Headers = No
Encasement -Invert elev. = 49.45 ft, Width = 5.00 ft, Height = 7.00 ft, Voids = 40.00%

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	49.45	n/a	0	0
0.70	50.15	n/a	616	616
1.40	50.85	n/a	1,039	1,655
2.10	51.55	n/a	1,355	3,010
2.80	52.25	n/a	1,355	4,366
3.50	52.95	n/a	1,355	5,721
4.20	53.65	n/a	1,355	7,077
4.90	54.35	n/a	1,355	8,432
5.60	55.05	n/a	722	9,154
6.30	55.75	n/a	616	9,770
7.00	56.45	n/a	616	10,386

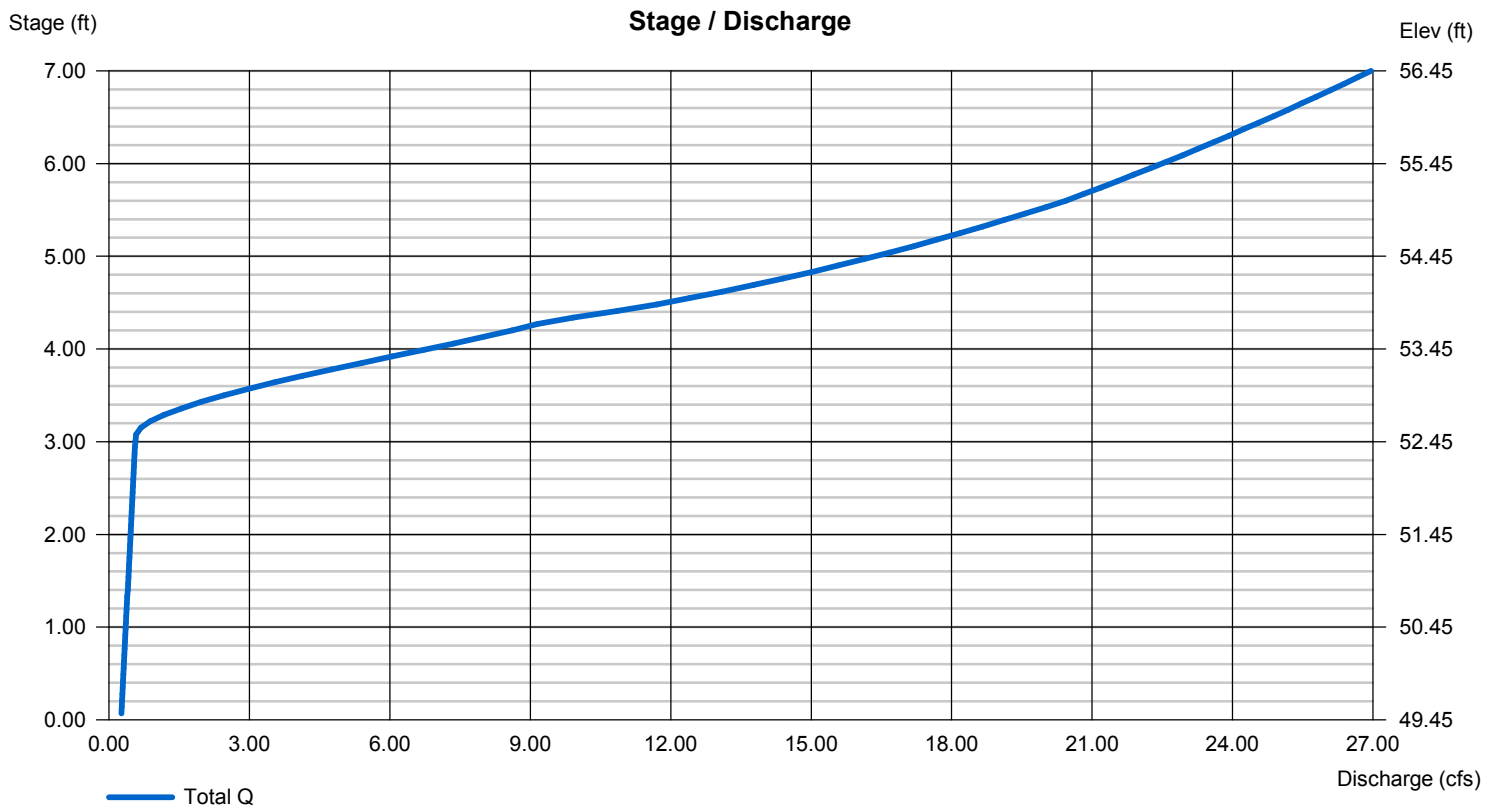
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 15.00	18.00	0.00	0.00
Span (in)	= 15.00	18.00	0.00	0.00
No. Barrels	= 1	1	0	0
Invert El. (ft)	= 52.50	52.50	0.00	0.00
Length (ft)	= 30.00	0.00	0.00	0.00
Slope (%)	= 0.50	0.00	0.00	n/a
N-Value	= .012	.012	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	0.00	0.00	0.00
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= ---	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 5.000 (by Wet area)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).



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Traffic Overview
National Bus Company
Proposed School Bus Facility Development
615 Plains Road
Milford, CT

Introduction

The project is a proposed school bus facility development at 615 Plains Road in the City of Milford, Connecticut. The existing 3± acre property is currently developed with an existing 13,600± SF building proposed to remain onsite and has one access drive on Plains Road. The Site is located in a limited industrial district (LI) zone and land uses surrounding the Site are a mix of industrial, commercial and brewery-restaurant along with residential parcels to the east. In the vicinity of the Site there is a proposed Valley Tool and Manufacturing development under review from Connecticut Department of Transportation (CTDOT) Office of State Traffic Administration (OSTA) at 132 Shelland Street.

The proposed development will encompass the existing building onsite, with parking spaces for 135± vehicles. Access is proposed to be provided by the existing unsignalized driveway off Plains Road in addition to a secondary access drive on Raton Drive. Both driveways are proposed to have stop bars and stop signs to improve site safety.

Location Map



Site Traffic Operations

The anticipated traffic volumes generated by the proposed development typically are projected based upon industry standards and guidelines set forth by Connecticut Department of Transportation (CTDOT) and data provided by the *ITE Trip Generation Manual, 10th Edition*; however, school bus facility is not a standard land use code and estimation for projected trips utilized client provided data. For the Site proposed there are 67 employee spaces and 70 bus spaces and a fueling station onsite.

For the type of development, school bus facilities operate during three weekday peak periods to accommodate elementary and secondary schools (middle school and high school). In Milford for example there are 8 elementary schools and 6 secondary schools which range in start times from 7:00 AM to 4:00 PM. This proposed facility could support any supporting area schools not limited to just Milford. Comparing this facility to other school bus facilities the typical operation to support school children is as follows:

Morning Peak Period – 5:30 to 9:00

Midday Peak Period – 11:30 to 1:00

Evening Peak Period – 3:00 to 5:30

It is anticipated that the proposed development could generate the maximum trips of buses onsite, 70 bus vehicles. The operation of the Site is typically, an employee will arrive, park their personal vehicle and leave the Site in a bus. When the drivers return, they park the bus onsite and leave in their personal vehicle. **Table 1** illustrates the trip generation for the proposed development during a peak hour of the morning, midday, and evening scenarios. Approximately 140 trips in the morning peak (70 in/enter, 70 out/exit), 140 trips in the midday peak (70 in/enter, 70 out/exit), and 140 trips in the evening peak (70 in/enter, 70 out/exit).

Table 1 - Proposed Trip Generation

Proposed Development		Trips								
ITE Land Use Code	Size	AM Peak			Midday Peak			PM Peak		
		Total	In	Out	Total	In	Out	Total	In	Out
School Bus Facility	70*	140	70	70	140	70	70	140	70	70
Net New Trips		140	70	70	140	70	70	140	70	70
*Maximum bus spaces onsite, 70 bus vehicles										

Transportation Network

In the vicinity of the Site there are several major roadway networks including Interstate 95, CT Route 15 (Merritt Parkway) and US Route 1 (Bridgeport Avenue). It is anticipated for the buses and employees to utilize the following routes to avoid disruption among residential neighborhoods that are not along the designated school pick-up/drop-off bus routes:

For access to I-95; Plains Road, Shelland Street, Bic Drive

For access to US Route 1; Plains Road, Shelland Street, Bic Drive, School House Road

In the vicinity of the Site, Plains Road is a local maintained roadway with a single travel lane in both directions. Based on CTDOT count station located along Plains Road northwest of Grinnel Street, in 2021 approximately 1,900 vehicles traveled on an average day. Plains Road terminates southeast of a rail line, Housatonic Railroad Company (HRRC) along Oronoque Road. The South Central Regional Council of Governments (SCRCOG) identified in the Transportation Planning Work Program, Fiscal Year 2022 and Fiscal Year 2023 for the City of Milford a Feasibility Study for the connection of Plains Road to Oronoque Road including at-grade railroad crossing, identification of permits required and cost/benefit analysis. Should this study prove need for a project to move forward it would provide increased access to the Site. The speed limit along Plains Road is 25 mph and illumination is present. The existing Site driveway on Plains Road will remain and will have a stop bar and stop sign.

The second driveway is proposed to be located on Raton Drive. Raton Drive is a local maintained dead-end roadway with one travel lane in both directions. Illumination is present along Raton Drive that serves access to other mixed use developments. CTDOT has no record traffic volume information for this roadway.

Shelland Street is a local maintained roadway with one travel lane in both directions and illumination is present along the roadway. CTDOT has no record traffic volume information for this roadway.

Bic Drive in the vicinity of Shelland Street is a minor urban collector roadway that becomes a minor arterial roadway connecting to major roadways such as I-95 and US Route 1. Illumination is present along Bic Drive as well as intermittent sidewalks. Bic Drive has one travel lane in both directions. Based on CTDOT count station located along Bic Drive northwest of Rowe Avenue, in 2021 approximately 5,700 vehicles traveled on an average day.

School House Road is a minor arterial roadway with one travel lane in both directions connecting access to major roadways such as I-95 and US Route 1. Illumination is present along School House Road as well as a continuous sidewalk along the westbound approach. Based on CTDOT count station located along School House Road northwest of US Route 1, in 2021 approximately 9,900 vehicles traveled on an average day.

Pedestrian and Bicycle Accommodations

In the vicinity of the Site there are no sidewalks and there are no designated bicycle facilities.

Schools and Transit Service

There are no schools within one mile of the Site and no transit services in the vicinity of the project area. The Metro North/Amtrak Milford Station is located approximately 2.5 miles from the Site.

Intersection Sight Distance and Stopping Sight Distance

The American Association of State Highway and Transportation Officials' (AASHTO) publication, A Policy on Geometric Design, 2011 Edition, defines minimum sight distances at intersections. Two distances to consider are the stopping sight distance (SSD) for vehicles traveling along the main road and intersection sight distance (ISD) from the driveway. ISD is provided for both passenger and bus vehicles. The height of the vehicles contributes to the sight distance. It is assumed from guidelines 3.5ft is for the passenger vehicle and 6ft for a single unit truck or bus. These distances are shown in **Table 2**. The Site driveways meet the SSD and ISD requirements.

Table 2 - Intersection Sight Distance & Stopping Sight Distance

Intersection	Direction	85 th Percentile Speed* (mph)	SSD Required (ft)	ISD (Passenger) Required (ft)	ISD (Bus) Required (ft)	Measured Distance (ft)
Plains Road	Westbound	30	200	335	420	870
	Eastbound					600
Raton Drive	Northbound	30	200	335	420	480
	Southbound					870

*85th Percentile Speed assumed 5mph over Posted Speed Limit

Other Traffic Information

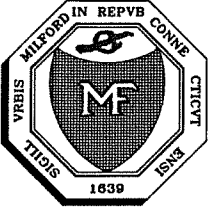
The proposed development will not need a CTDOT Encroachment Permit review from the CTDOT District 3 office as no work is being done on state roads. The OSTA regulates major traffic generators (MTG) and their traffic impact on the Connecticut state highway system. New MTGs as well as expansions or land use changes to existing properties is defined as any development of 100,000 square feet or more of gross floor area or 200 or more parking spaces. For the Site there is no existing OSTA certificate and most likely will not need a review from CTDOT.

Conclusion

From this overview it appears the proposed development will have little impact on the existing roadway infrastructure. The roadways network can accommodate the increase in traffic associated with proposed development.

Michael Dion, P.E., PTOE
Senior Project Manager





City of Milford, Connecticut

Founded 1639

70 West River Street
Milford, CT 06460-3317
Telephone (203) 783-3256
Fax (203) 783-3551

Inland Wetlands Agency

To: File 2021-0052 615 Plains Road

From: MaryRose Palumbo, Inland Wetlands Compliance Officer

Date: January 4, 2022

Re: IWC 2022-0003 615 Plains Rd; Map 62, Block 928, Parcel 48; 615 Plains Rd, LLC; Proposed school bus storage, maintenance, and dispatch facility w/outdoor fueling station with work completed within 100' of an inland wetlands or watercourses in the Housatonic River Watershed without a permit. Site Walk.

I visited the site at 615 Plains Road on 1/03/22 at 2:30 pm, the weather was partially overcast and cold. The site work appears to be nearly complete, with finished paving and curbing installed. The work on the northeast portion of the site is within 100' of a drainage swale /intermittent watercourse on the adjoining property at 0 Raton Dr.

The intermittent watercourse is shown in photo 1 looking northwest from Raton Drive. The water is silty and discolored.

There appears to have been a boulder and concrete block retaining wall and fill installed for the leveling and construction that has been completed. No silt fencing was visible on the site. In Photo 2, black fabric is against the fence next to the fill slope; I could not safely access to determine it is silt fencing and no other erosion controls are apparent at the base of the slope on the east and west sides of the site where the boulders and concrete blocks were installed. There is a sedimentation and erosion control plan in the plan set entitled "*Site Plan 615 Plains Rd, Milford, Connecticut*" by CT Civil Group, cover & 9 sheets, dated as follows: T-1, Ex-1, Sp-1, GDU-1, ES-1, IP-1, IP-2, D-1, D-2: 12/01/20 Rev 5/24/21; LS-1, A-1 & FP-1: 5/24/21. It cannot be determined if the sedimentation and erosion control measures were adhered to during construction.

Portions of the slope have small gravel and grass. Portions do not have stabilizing vegetation. No plantings from the proposed planting plan received in the P&Z transmittal were apparent. Given the season the slopes cannot be properly stabilized until the spring. See photos 2, 3 & 4. The P&Z transmittal of the proposed work did not include a cross section to show how the base of the slopes would be constructed or stabilized.

Catch basins are installed and appear to be functioning on the 615 Plains Rd property. Seven (7) stormwater manholes are located in the front parking area on either side of the entrance from Plains Road. There is no information or inspection of these structures during construction to ensure proper installation and functioning. There is no annual stormwater maintenance plan or manual for these structures or the property in the documents I received. Photos 6 & 7 show the manhole locations approximately as shown on above referenced proposed site plans.

Work has been conducted on this property within 100' of an intermittent watercourse without a permit.



Photo 1 intermittent watercourse from Raton Dr facing west



Photo 2 intermittent watercourse from site facing east. Unprotected loose soil along slope.

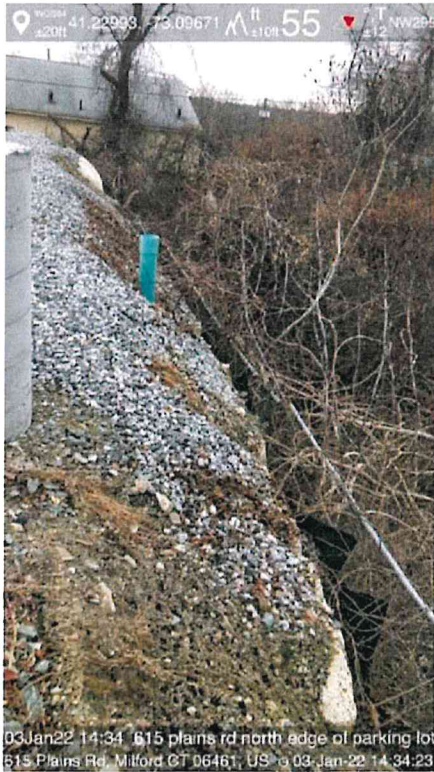


Photo 3 facing northwest - black fabric along fence at fill/wall edge and fence gravel and loose soil.



Photo 4 facing east fill over boulder / block retaining wall with loose soil.

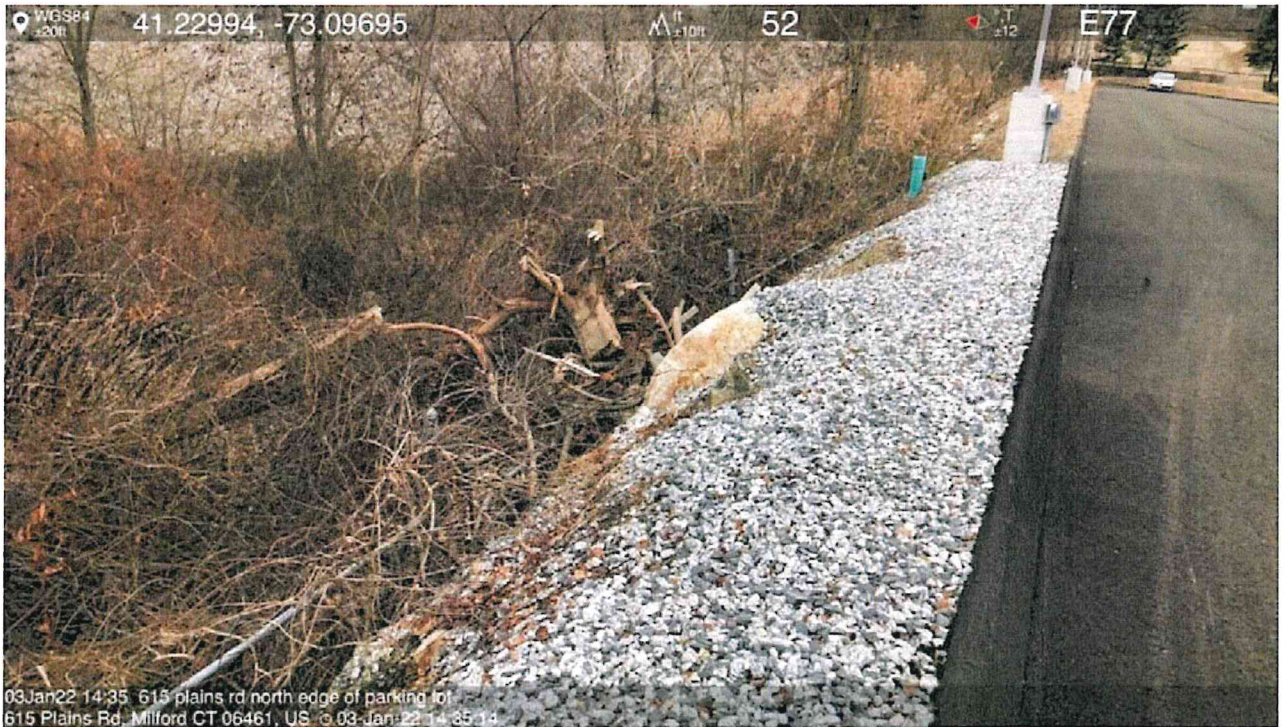


Photo 5 facing east fill over boulder / block retaining wall with gravel and loose soil.

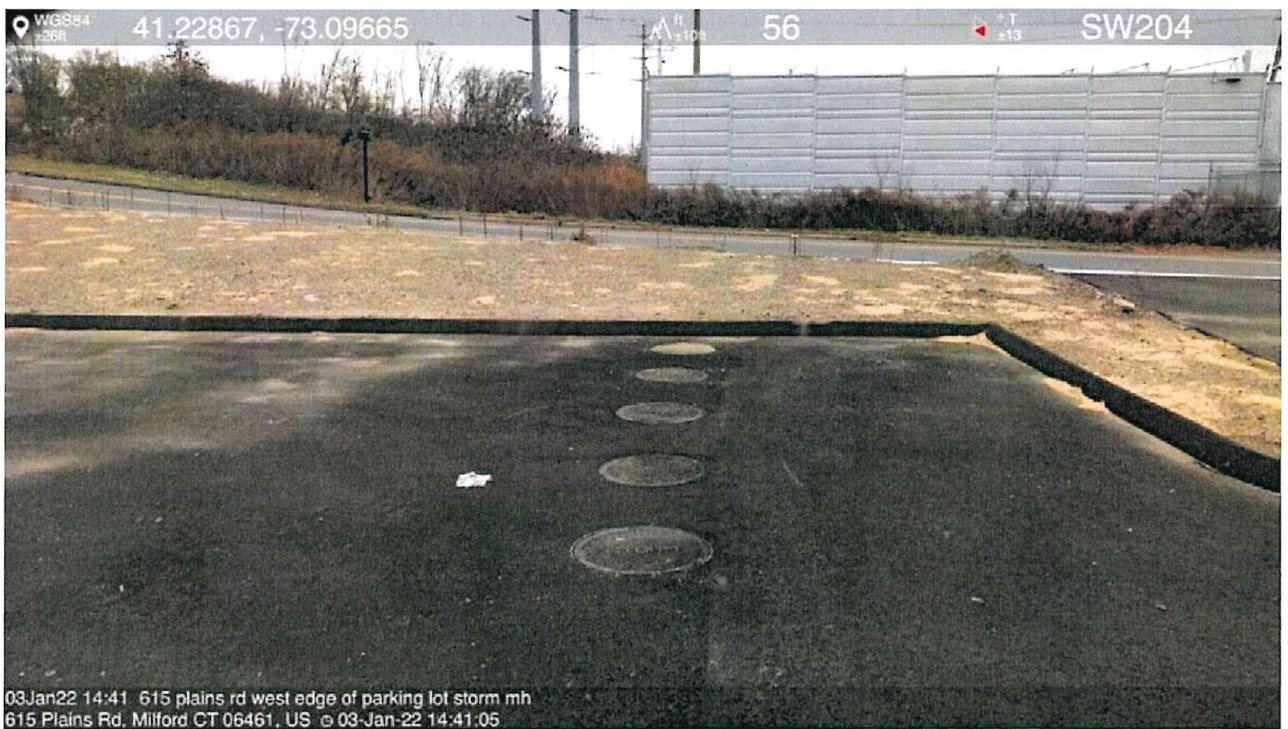


Photo 6 facing southwest at Plains Rd. Five(5) manholes for stormwater system.



Photo 7 Facing southeast towards Raton Dr. Two(2) manholes for stormwater system.



City of Milford, Connecticut

- Founded 1639 -

Inland Wetlands Office
inlandwetland@milford.ct.gov

70 West River Street
Milford, CT 06460-3317
Tel 203-783-3256

January 13, 2022

CERTIFIED MAIL RETURN RECEIPT REQUESTED #P7016 0600 0000 28573344
Mr. Jason Julian, member 615 Plains Road, LLC
Mr. Andrew Julian, member 615 Plains Road, LLC
615 Plains Road
Milford CT 06461

CERTIFIED MAIL RETURN RECEIPT REQUESTED #P7016 0600 0000 2857 3337
Mr. Jason Julian, member 615 Plains Road, LLC
Mr. Andrew Julian, member 615 Plains Road, LLC
418 Meadow Street, Suite 203
Fairfield , CT 06824

CERTIFIED MAIL RETURN RECEIPT REQUESTED #P7016 0600 0000 2857 3320
Mr. Jason Julian, member 615 Plains Road, LLC
Mr. Andrew Julian, member 615 Plains Road, LLC
69 Turkey Roost Road
Monroe, CT 06468

Re: Notice of Violation IWC-2022-0003 615 Plains Rd; Map 62, Block 928, Parcel 48; 615 Plains Rd, LLC; School bus storage, maintenance, and dispatch facility w/outdoor fueling station with work completed within 100' of an inland wetlands or watercourses in the Housatonic River Watershed without a permit.

Dear Messrs. Julian and Julian:

It has come to our attention that you or your contractors have constructed a parking area within 100' of a wetland or watercourse without a permit on the property at 615 Plains Road. Such work constitutes a regulated activity pursuant to section 2 of the City of Milford Inland Wetlands and Watercourse Agency Regulations. Connecticut General Statutes sections 22a-36 through 22a-45 and the Milford Inland Wetlands and Watercourses Regulations require that a permit be obtained prior to conducting regulated activities affecting inland wetlands and watercourses. All activities conducted within wetlands or watercourses and the 100' upland review area that impacts or has the potential to impact or affect wetlands or watercourses is a regulated activity. A review of our files indicates that a plan was submitted to the Planning and zoning Board for the work. No inland wetland permit was issued for the work described above. Accordingly, such work has been conducted in violation of the law.

You are hereby ordered to **IMMEDIATELY CEASE** work in wetlands and watercourses and the 100' Upland Review Area and to appear at the January 19, 2022, Milford Inland Wetlands Agency meeting to discuss the unauthorized activity, and:

1. By **1/19/22** install proper soil erosion and sedimentation controls on the slope adjacent to the intermittent watercourse
2. By **2/1/22** submit a detailed mitigation and planting plan for review and approval by the MIWA to restore the wetland. Plan to be designed by a professional wetland scientist and include at a minimum:
 - a. Stabilization of soil.
 - b. Planting of native shrubs back into the disturbed area.

CERTIFIED MAIL RRR #P7016 0600 0000 2857 3344
Mr. Jason Julian, member 615 Plains Road, LLC
Mr. Andrew Julian, member 615 Plains Road, LLC
615 Plains Road, Milford CT 06461

Page 2 of 2

January 13, 2022

CERTIFIED MAIL RRR #P7016 0600 0000 2857 3337
Mr. Jason Julian, member 615 Plains Road, LLC
Mr. Andrew Julian, member 615 Plains Road, LLC
418 Meadow Street, Suite 203, Fairfield , CT 06824

CERTIFIED MAIL RRR #P7016 0600 0000 2857 3320
Mr. Jason Julian, member 615 Plains Road, LLC
Mr. Andrew Julian, member 615 Plains Road, LLC
69 Turkey Roost Road, Monroe, CT 06468

Re: Notice of Violation IWC-2022-0003 615 Plains Rd; Map 62, Block 928, Parcel 48; 615 Plains Rd, LLC; School bus storage, maintenance, and dispatch facility w/outdoor fueling station with work completed within 100' of an inland wetlands or watercourses in the Housatonic River Watershed without a permit.

- c. Proposed timeline for execution of the mitigation plan to remove material, plant, and stabilize the disturbed area including two years of twice a year monitoring by a professional wetland scientist.
 - d. Draft planting and mitigation monitoring bond calculation. Bond to be posted to guarantee that the shrubs live for two years, and monitoring reports are completed in a timely manner.
 - e. Outline of responsibilities of property owner for watering and maintenance of plantings to ensure survival.
3. Property owner shall obtain all permits, including, but not limited to, Inland/Wetland, Planning & Zoning, and Building, that may be required to resolve and legitimize the site work.

The hearing concerning said violation shall be held on January 19, 2022, at 7:30 P.M. via Zoom. At that time, you will be provided an opportunity to be heard and show cause why the above order should not remain in effect. You can access the meeting via the link I emailed you with the agenda, or the information below:

Join Zoom Meeting

<https://us02web.zoom.us/j/3518110262?pwd=SG5JRct5emJaMi9scWcyUmFLNG9xUT09>

Meeting ID: 351 811 0262

Passcode: 470336

Virtual/Telephonic Meeting Dial In number: 1-929-205-6099

Conference ID 351 811 0262 If prompted for a Password 470336

Failure to comply with aforesaid orders will subject you to penalties provided in Section 22a-44 of the General Statutes and to such other penalties as the law may provide. If you fail to comply with the terms of this letter, further enforcement actions will be pursued, including but not limited to the transferal of the matter to the City Attorney for legal action.

Any questions on this matter should be directed to me at 203-783-3256. Your prompt cooperation is appreciated.

Sincerely,


MaryRose Palumbo
Inland Wetlands Compliance Officer

c: DPLU
City Attorney
Planning & Zoning
City Engineer
Mr. Thomas Lynch, Lynch Trembicki & Boyton



City of Milford, Connecticut

- Founded 1639 -

Inland Wetlands Office
inlandwetland@milford.ct.gov

70 West River Street
Milford, CT 06460-3317
Tel 203-783-3256

February 16, 2022

CERTIFIED MAIL RRR #P7016 0600 0000 2857 3429
Mr. Jason Julian, member 615 Plains Road, LLC
Mr. Andrew Julian, member 615 Plains Road, LLC
418 Meadow Street, Suite 203
Fairfield , CT 06824

Re: Violation IWC-2022-0003 615 Plains Rd; Map 62, Block 928, Parcel 48; 615 Plains Rd, LLC; School bus storage, maintenance, and dispatch facility w/outdoor fueling station with work completed within 100' of an inland wetlands or watercourses in the Housatonic River Watershed without a permit. Modified.

Dear Messrs. Julian and Julian:

Pursuant to Section 22a-42a of the Connecticut General Statutes and Milford Inland Wetlands Regulations Sections 6-12, this is to inform you that the Milford Inland Wetlands Agency voted to Uphold and Modify the order for your violation IWC-2022-0003 at its February 16, 2022, meeting based on the information in the file and presented at the meeting. The order was modified to require that:

1. By **2/28/22** you submit a detailed mitigation and planting plan for review and approval by the MIWA to restore the wetland. Plan to be designed by a professional wetland scientist and include at a minimum:
 - a. Stabilization of soil.
 - b. Planting of native shrubs back into the disturbed area.
 - c. Proposed timeline for execution of the mitigation plan to remove material, plant, and stabilize the disturbed area including two years of twice a year monitoring by a professional wetland scientist.
 - d. Draft planting and mitigation monitoring bond calculation. Bond to be posted to guarantee that the shrubs live for two years, and monitoring reports are completed in a timely manner.
 - e. Outline of responsibilities of property owner for watering and maintenance of plantings to ensure survival.
2. Property owner shall obtain all permits, including, but not limited to, Inland/Wetland, Planning & Zoning, and Building, that may be required to resolve and legitimize the site work.
3. By **4/01/22** you submit the mitigation bond to the Inland Wetland Agency.
4. By **5/15/22** you install the seed mixtures as specified by the professional wetland scientist

Failure to comply with aforesaid orders will subject you to penalties provided in Section 22a-44 of the General Statutes and to such other penalties as the law may provide. If you fail to comply with the terms of this letter, further enforcement actions will be pursued, including but not limited to the transferal of the matter to the City Attorney for legal action.

CERTIFIED MAIL RRR #P7016 0600 0000 2857 3429
Mr. Jason Julian, member 615 Plains Road, LLC
Mr. Andrew Julian, member 615 Plains Road, LLC
418 Meadow Street, Suite 203, Fairfield , CT 06824

Page 2 of 2

February 18, 2022

Re: Violation IWC-2022-0003 615 Plains Rd; Map 62, Block 928, Parcel 48; 615 Plains Rd, LLC; School bus storage, maintenance, and dispatch facility w/outdoor fueling station with work completed within 100' of an inland wetlands or watercourses in the Housatonic River Watershed without a permit. Modified.

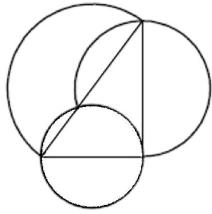
Any questions on this matter should be directed to me at 203-783-3256. Your prompt cooperation is appreciated.

Sincerely,



MaryRose Palumbo
Inland Wetlands Compliance Officer

c: DPLU
City Attorney
Planning & Zoning
City Engineer
Mr. Thomas Lynch, Lynch Trembicki & Boyton



CT CIVIL GROUP, LLC

•ENGINEERS & SURVEYORS•
158 RESEARCH DRIVE UNIT M
MILFORD, CT 06460

PHONE: (203)874-8316
EMAIL: info@ctcivilgroup.com

Feb. 28, 2022

City of Milford
Inland Wetland Agency
Milford CT
c/o MaryRose Palumbo, Inland Wetland Compliance Officer

RE: IWC 2022-003 615 Plains Road

Dear MaryRose,

Please accept this letter as summary of the proposed planting as required condition of the Agency IWC-2022-003 modification of Feb 16, 2022.

A landscaping plan prepared by my firm in collaboration with William Kenny PWS – RLSA of William Kenny Associates was presented at your Feb 16, 2022 meeting. Please recall that Mr. Willam Kenny did participate at the wetlands meeting and spoke in support of the plan submitted.

Jason Julian of 615 Plains Road LLC is responsible for installation and care of the proposed seeding areas throughout the germination process and will irrigate or re-seed as necessary. Mr. Kenny will monitor the installation of the seeding per the landscaping plan as submitted and inspect the seeding and reseeded if necessary to establish the grass and wildflower seed areas as submitted on the landscape plans.

The seeding will be installed by 5/15/2022

The seeding will be monitored by Willaim Kenny, PWS – RLA

A status report will be submitted by Willaim Kenny on or before July 1, 2022.

Please call if you have any questions or comments.

Thank you,

Ronald Wassmer PEL
Agent for the applicant

Cc: Jason Julian
Thomas Lynch Esq.
Kevin Curseaden Esq.



City of Milford, Connecticut

- Founded 1639 -

Engineering Bureau

70 West River Street
Milford, CT 06460

Tel: (203) 783-3261

Fax: (203) 783-3676

TO: DAVID SULKIS
CITY PLANNER
70 WEST RIVER ROAD
MILFORD, CT., 06460

FROM: GREGORY H. PIDLUSKI, P.E.L.S.
CITY ENGINEER
70 WEST RIVER ROAD
MILFORD, CT., 06460

22 July 2021

Re: SITE PLAN REVIEW
SCHOOL BUS FACILITY

PROPERTY AT: 615 PLAINS ROAD
PROPERTY OF: 615 PLAINS ROAD, LLC

In response to my review dated 24 July 2021, I am in receipt of the following:

1) Application for Coastal Site Plan Review ("CAM Application") dated 7-01-2021.

I have performed a limited site inspection and independently researched the USDA (Web Soil Survey) website, and the City of Milford GIS.

My observations are as follows:

1. The CAM Application is satisfactory with the following exception:
 - A) Part III (Coastal Resources) has checked "On-Site" and "Adjacent" for both General Coastal Resources and Shorelands. This appears to be correct.
 - B) No other Resources have been checked. It would appear that all other Resources should be checked as "Not Applicable". This is clerical in nature and does not impact the actual findings related to the CAM Application.

My recommendations are as follows:

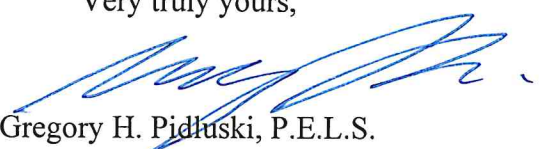
- A) It is recommended, but not required, that the CAM Application be revised as recommended in Item 1.B hereinabove.
- B) All other requirements, conditions, requirements contained in the review dated 24 July 2021 remain in effect, as applicable.

General Comments:

- 1) The City reserves the right to make additional comments on other issues that may arise during construction.
- 2) Necessary permits from the City of Milford Engineering Department for the driveway apron and/or sidewalk/curb are to be obtained prior to construction and are to be constructed in accordance with the City of Milford Standards.
- 3) Necessary permits from the City of Milford Engineering Department for any sanitary sewer work are to be obtained prior to construction.
- 4) Bond may be required for work to be performed within public rights of way, soil erosion and sediment control measures, and for in common stormwater treatment and mitigation measures required for the development of multiple (2 or more) parcels.

Please feel free to contact me with any questions or comments.

Very truly yours,



Gregory H. Pidluski, P.E.L.S.
City Engineer



City of Milford, Connecticut

- Founded 1639 -

Engineering Bureau

70 West River Street

Milford, CT 06460

Tel: (203) 783-3261

Fax: (203) 783-3676

TO: DAVID SULKIS
CITY PLANNER
70 WEST RIVER ROAD
MILFORD, CT., 06460

FROM: GREGORY H. PIDLUSKI, P.E.L.S.
CITY ENGINEER
70 WEST RIVER ROAD
MILFORD, CT., 06460

23 July 2021

Re: SITE PLAN REVIEW
SCHOOL BUS FACILITY
PROPERTY AT: 615 PLAINS ROAD
PROPERTY OF: 615 PLAINS ROAD, LLC

I am in receipt of the following:

- 1) Set of Drawings (10 Sheets, including Title Sheet, exclusive of Floor Plans & Elevations) entitled: "Site Plan, for 615 Plains Road, Milford, Connecticut, Map 062, Block 928, Parcel 4B, Zone LI", dated 12-01-2020, revised through 06-09-2021, prepared by Ct Civil Group, LLC.
- 2) Report entitled: "Hydrology Study, 615 Plains Road, Milford, CT.", dated July 1, 2021, prepared by Ronald W. Wassmer, PE & LS (Ct Civil Group, LLC).
- 3) Application for Coastal Site Plan Review ("CAM Application") dated 7-01-2021.

I have performed a limited site inspection and independently researched the USDA (Web Soil Survey) website, and the City of Milford GIS.

My observations are as follows:

1. The Applicant is proposing to the adaptive reuse of the existing structure.
2. The Applicant is proposing significant regrading of the site to provide parking for cars and busses. The proposed parking (presently under way) will significantly increase the impervious area.

3. The Applicant is proposing an above ground fuel station.
4. The site is approximately 130,582 s.f. in size.
5. The Applicant is proposing two (2) concrete driveway aprons (one each on Plains Road and on Raton Drive).
6. Plans are notated to indicate “Reconstruct curbing as required by Milford Public Works”. Please note that all curbs are to be concrete.
7. Although there is no mention of sidewalks, the Applicant has had a Contractor secure permits for the installation of concrete sidewalks. Concrete sidewalks are currently be installed along the Plains Road frontage as well.
8. It will be necessary to provide H/C ramps with tactile pads at the intersection of Plains Road and Raton Drive.
9. There is a “Shrub” located within the right of way at the intersection of Plains Road and Raton Drive. This will interfere with the required sidewalks. Additionally, plantings are not allowed within the rights of way. Plans are to be revised to eliminate the encroaching shrub.
10. Proposed use of the existing building has not been identified. If it is to be utilized, at least in part, and there are to be floor drains said floor drains will need to be routed through an appropriate oil/water separator for discharge to the municipal sanitary sewer system. (To be clear, floor drains have not been identified on the plans provided. Floor drains are not specifically required. But if there are any within a vehicle service area they must be routed through an oil/water separator.)
11. Existing service utilities (gas and water) have been identified.
12. Proposed sanitary sewer lateral (connecting to existing) gas been indicated. Sanitary sewer lateral has been indicated as 8” PVC, as required.
13. Proposed stormwater mitigation (retention) facility is in large part in substantially the same location as the pre-existing septic system. It is noted on the plans that “Existing septic system to be abandoned per Ct. Health Code”. I will defer to the Milford Health Department on this Item.
14. Based upon the Hydrology study provided, it appears that both the peak discharge rate and total volume of runoff will be reduced from the pre-existing conditions.
15. Plans indicate that runoff from parking areas is to be routed through Water Quality Chambers prior to discharge to the proposed stormwater mitigation (retention) facility (515 l.f. 4’x4’ galleys). As noted on the details, Galleys are to be H-20 reinforced.
16. Although, as indicated on the plans provided, the site is located, in its entirety, within the Coastal Boundary a CAM Application has not been provided for my review.
17. While the Soil Erosion and Sediment Controls appear to be satisfactory as indicated on the plans provided, they are not functioning properly at the site. Specifically:

- A) There was site access from Plains Road in an area without a construction entrance.
 - B) There was a significant deposition of soils on the newly installed sidewalk along Raton Drive.
 - C) There was a significant accumulation of sediment in the gutter
 - D) Sediment was also observed in the gutter along Plains Road.
18. With respect to the CAM Application:

The CAM Application is satisfactory with the following exception:

- A) Part III (Coastal Resources) has checked “On-Site” and “Adjacent” for both General Coastal Resources and Shorelands. This appears to be correct.
- B) No other Resources have been checked. It would appear that all other Resources should be checked as “Not Applicable”. This is clerical in nature and does not impact the actual findings related to the CAM Application.

My recommendations are as follows:

- A) Plans should be revised to clearly indicate concrete curbs for the full frontage of subject parcel along Plains Road and Raton Drive.
- B) Plans should be revised to indicate concrete sidewalks for the full frontage of subject parcel along Plains Road and Raton Drive.
- C) Plans should be revised to indicate concrete curbs appropriate H/C Ramp(s) with tactile pad(s) at the intersection of Plains Road and Raton Drive.
- D) Plans should be revised to eliminate the Shrub at the intersection of Plains Road and Raton Drive.
- E) Plans should be revised to indicate that any floor drains within the building are to be routed through an appropriate oil/water separator for discharge to the municipal sanitary sewer system. If there are to be no floor drains, plans should be revised to clearly so state.
- F) It is recommended, but not required, that the CAM Application be revised as recommended in Item 18.B hereinabove.
- G) Soil Erosion and Sediment Control measures are to be reviewed and revised as may be necessary. All necessary Soil Erosion and Sediment Control measures are to be implemented as soon as practicable. Applicant is to take all appropriate measures to capture fugitive sediment and dispose of in an appropriate manner.

General Comments:

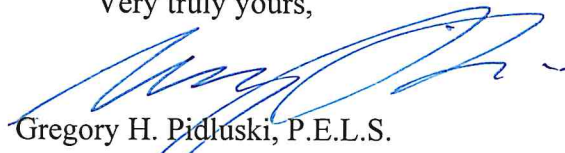
- 1) The City reserves the right to make additional comments on other issues that may arise during construction.

- 2) Necessary permits from the City of Milford Engineering Department for the driveway apron and/or sidewalk/curb are to be obtained prior to construction and are to be constructed in accordance with the City of Milford Standards.
- 3) Necessary permits from the City of Milford Engineering Department for any sanitary sewer work are to be obtained prior to construction.
- 4) Bond may be required for work to be performed within public rights of way, soil erosion and sediment control measures, and for in common stormwater treatment and mitigation measures required for the development of multiple (2 or more) parcels.

Please note that this review has been compiled from previous reviews dated 14 July 2021 and 22 July 2021. No information has been added. This review supersedes and replaces both previous reviews.

Please feel free to contact me with any questions or comments.

Very truly yours,



Gregory H. Pidluski, P.E.L.S.
City Engineer



City of Milford, Connecticut

- Founded 1639 -

Health Department

Deepa D. Joseph, MPH
Health Director

Telephone: (203) 783-3285
FAX: (203) 783-3286
Email: health@milfordct.gov

July 16, 2021

Mr. Thomas Lynch Esq.
63 Cherry St.
Milford, CT 06460
Email: lynch@ltmblaw.com

Re: 615 Plains Rd. – Proposed School Bus Facility
Site plan date – 12/1/2020, revised 5/24/2021

Dear Attorney Lynch,

Reference is made to plans submitted to this office for review. The submitted plans prepared by CT Civil Group, LLC propose a school bus storage facility with an outdoor fueling station. The existing building is located on a 3.0-acre parcel and is currently connected to public water.

Milford Health Department records indicate that the septic tank previously serving the building was abandoned in January 2021. Based on an as-built drawing of the septic system dated October 1990, there are other leaching system components present that may not have been removed when the septic tank was abandoned. As such, this office has no objection to the re-development of the property. However, prior to any construction of the storm water drainage system, the existing leaching system shall be field located and removed. The contractor is required to complete and submit a Septic System Abandonment application to the Milford Health Department.

Please do not hesitate to contact me if you should have any questions at 203-783-3287.

Sincerely,

A handwritten signature in black ink, appearing to read 'Laura M. Miller'.

Laura M. Miller, REHS/RS
Chief, Environmental Health Division

cc: David Sulkis, City Planner
File

RECEIVED

JUL 19 2021

PLANNING & ZONING
MILFORD, CT 06460



Milford Fire Department - Fire Marshal Office

72 New Haven Ave
Milford, Ct 06460



Site Plan Review Report

Date: Tuesday July 13, 2021

Applicant:

Thomas Lynch - Thomas Lynch, Esq.
63 Cherry St #1
Milford, CT 06460

Occupancy:

DURHAM BUS SERVICES
615 Plains Rd
Milford, CT 06460

Project: SITE PLAN REVIEW - PROPOSED BUS FACILITY

[Dispatch, Storage, Maint, etc]

This office has reviewed the plans received on June 30, 2021.

This Report has been prepared for the review of the Site Plan only. A full set of architectural drawings will be required for review and approval prior to the commencement of any subsequent construction/remodel work.

If a fire sprinkler system is to be installed within the scope of this project, the underground fire service main will be required to comply with NFPA 13, Chapter 10 and be subject to acceptance testing witnessed by this Office.

This plan has been : **APPROVED as Submitted**

THIS OFFICE HAS NO OBJECTION TO THE APPLICABLE ZONING PERMIT BEING ISSUED.

This plan review does not relieve the architect, engineer, contractor and/or builder of meeting all the requirements of the Connecticut State Fire Safety Code and all other referenced Codes and Standards. A Final inspection is required for a final Certificate of Occupancy and/or completion.

The Fire Marshal's Office requires 72 Hours notice to schedule an appointment for inspections.

Reviewed By: Anthony Fino

Office: 203-874-6321

Email: afino@ci.milford.ct.us

Fax: 203-783-3744

MILFORD POLICE DEPARTMENT
TRAFFIC DIVISION

PLANNING & ZONING SUBMISSION REVIEW FORM

Name of Project: Site plan for school bus storage and maintenance/dispatch facility with an outdoor fueling station

Location: 615 Plains Road

Date Received: July 28, 2021

Details of Investigation – Report # 2021-07-4441

Blueprint Review: XXX Inter-Department Contact David Sulkis
Site Inspection: XXX Dept:
Applicant Contact: Other:

COMMENTS: See Additional Pages

By: Ofc. Mauro

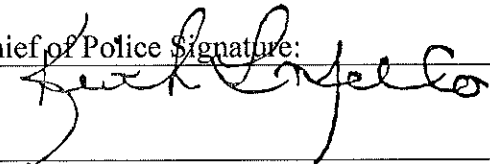
Date: July 28, 2021

Report Reviewed By: JK352	Report Approved By: GT/302
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NOTICE

Approval / Rejection of P & Z submission is tentative, and is contingent upon approval of the Board of Police Commissioners. To Be Presented to Police Commission on (Date):

- P & Z Submission ~~Tentatively~~ Approved
- P & Z Submission Tentatively Approved With Listed Conditions
- P & Z Submission Tentatively Rejected

Chief of Police Signature: 

This proposed application changes a building located at 615 Plains Road for a school bus storage and maintenance/dispatch facility with an outdoor fueling station. The plans call for the existing building to remain and a fuel station to be added near the east side of the building.

The property at 615 Plains Road currently has one driveway access on Plains Road. The plans call for an additional exit and entrance onto Raton Drive and the plans have appropriate signage for vehicles exiting the parking lot.

There are no sightline issues for either of these locations and there is low impact to the normal traffic to the dead end street of Raton Drive and the dead area of Plains Road. Mr Neil Martino of Durham Bus Co who informed the Traffic Division that all bus routes will use Shelland St and Bic Dr as primary access except for those busses that have routes in the Plains Rd accessible areas. This will minimize bus traffic through the Plains Rd neighborhood.

At this time, the Traffic Division has no issues with this plan and recommends it be approved.

EVENT # 2021065223
6/30/21



City of Milford, Connecticut

Founded 1639

70 West River Street – Milford, CT 06460-3317

Tel 203-783-3245 FAX 203-783-3303

Website: www.ci.milford.ct.us

Email: dsulkis@ci.milford.ct.us

Planning and Zoning
Office

David B. Sulkis, A.I.C.P.
City Planner

PLANNING & ZONING BOARD REVIEW TRANSMITTAL

RE: 615 Plains Road

DATE: 6/30/2021

- TO:
- | | |
|--|---|
| <input type="checkbox"/> City Attorney | <input checked="" type="checkbox"/> City Engineer |
| <input type="checkbox"/> Mayor's Office | <input checked="" type="checkbox"/> Fire Marshal |
| <input type="checkbox"/> Conservation Commission | <input checked="" type="checkbox"/> Inland Wetlands Commission |
| <input checked="" type="checkbox"/> Health Administrator | <input type="checkbox"/> Open Space Agent |
| <input checked="" type="checkbox"/> Police Department | <input checked="" type="checkbox"/> Public Works Director |
| <input checked="" type="checkbox"/> Sewer Commission | <input type="checkbox"/> South Central Regional |
| <input type="checkbox"/> DEEP – CAM Report | <input type="checkbox"/> Tree Commission (203-878-4895) |
| Mail to: John Gaucher, DEEP | <input type="checkbox"/> Resource Report |
| 79 Elm Street | <input type="checkbox"/> Community Development |
| Hartford, CT 06106 | <input checked="" type="checkbox"/> Building Department |
| <input type="checkbox"/> DEEP Permitting | <input checked="" type="checkbox"/> Planning & Zoning Office (3 Sets) |
| Mail to: Sue Jacobson, DEEP | |

SUBJECT: School Bus storage, maintenance and dispatch facility w/outdoor fueling station

ADDRESS OF PROPERTY: 615 Plains Road

MAP: 062 BLOCK: 928 PARCEL: 48 ZONE: LI

APPLICANT/AGENT: Thomas Lynch, Esq.

PHONE: 203-878-4669

EMAIL: lynch@ltmblaw.com

PROPERTY OWNER: 615 Plains Road, LLC

PLAN TITLE: Site Plan, 615 Plains Road

PREPARED BY: CT Civil Group, LLC

DATE OF PLANS: 12/1/2020; Revised 6/9/2021

DATE RECEIVED BY PLANNING & ZONING: 6/11/2021

PLANNING & ZONING CONTACT: David B. Sulkis

These plans/documents have been received and are transmitted to your office for review prior to the submission of a Special Exception with Site Plan Review to the Planning & Zoning Board

ALL COMMUNICATIONS REGARDING THE REVIEW SHALL BE DIRECTED TO THE APPLICANT/AGENT WITH A COPY TO THE PLANNING & ZONING OFFICE

10 Sets of plans will be required for the Planning & Zoning Board Distribution.

***These commission reviews must be returned within 10 working days.**



City of Milford, Connecticut

Founded 1639

OFFICE OF
Sewer Commission
Thomas C. Parsons Office Complex
70 West River Street
Milford, CT 06460
Telephone: (203) 783-3249

January 3, 2022

Kevin J. Curseaden, Esquire
3 Lafayette Street
P.O. Box 31
Milford, CT 06460

Property: 615 Plains Road (Map 62, Block 928 Parcel 48)
Zone LI – Proposed School Bus Storage & Dispatch Facility w/outdoor fueling station

We are in receipt of your Sewer Application dated January 3, 2022 for the property located at 615 Plains Road (Map 62, Block 928 Parcel 48) for School Bus Storage & Dispatch Facility w/outdoor fueling station

Upon Review by the Sewer Commission, it was determined that this application for School Bus Storage & Dispatch Facility w/outdoor fueling station, meets the criteria to be administratively approved.

The fixture count for this unit is toilets, hand sink. Prior water usage is 86 GPD; Proposed flow is 1,360 GPD (13,600 sf x .10 GPD); Allowed Approved flow per Sewer Commission Policies is 4,845 GPD (3.23 acres x 1500 GPD).

Additionally, should the use of this property change, the owner/applicant must submit a new application to the Sewer Commission.

Please do not hesitate to contact our office should you have any further questions. We can be reached at 203-783-3261.

Very truly yours,

Edmund Q. Collier, Chairman
Sewer Commission

Cc: 615 Plains Road, LLC
Planning & Zoning

Susan LaFond

From: Gaucher, John <John.Gaucher@ct.gov>
Sent: Wednesday, June 30, 2021 2:36 PM
To: David Sulkis
Cc: Joseph Griffith; Anthony Fino; Susan LaFond
Subject: RE: 615 Plains RD- Proposed fueling station for Bus Facility

Importance: Low

Follow Up Flag: Follow up
Flag Status: Flagged

David,

I don't know what state approvals are needed for the fueling station from DEEP or DOT. I'll check with our Assistant Director. I can certainly review the proposed stormwater drainage system. It appears the site is near the inland limit of the coastal boundary, so a CSPR would be required.

John

From: David Sulkis <DSulkis@milfordct.gov>
Sent: Wednesday, June 30, 2021 12:44 PM
To: Gaucher, John <John.Gaucher@ct.gov>
Cc: Joseph Griffith <JGriffith@milfordct.gov>; Anthony Fino <AFino@milfordct.gov>; Susan LaFond <SLaFond@milfordct.gov>
Subject: 615 Plains RD- Proposed fueling station for Bus Facility

EXTERNAL EMAIL: This email originated from outside of the organization. Do not click any links or open any attachments unless you trust the sender and know the content is safe.

Hi John,

I hope all is well with you.

We weren't sure if DEEP had an interest in new private fueling facilities.

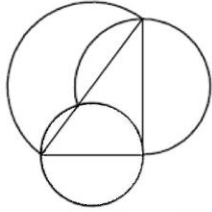
Attached please find the submission and if appropriate, please pass it on to the proper division of DEEP.

Please let me know if you have any questions,

Regards,

Dave

David B. Sulkis, A.I.C.P.
City Planner/Executive Secretary to the Planning and Zoning Board
City of Milford
70 West River Street
Milford, CT 06460
203-783-3245
dsulkis@milfordct.gov



CT CIVIL GROUP, LLC

•ENGINEERS & SURVEYORS•
158 RESEARCH DRIVE UNIT M
MILFORD, CT 06460

PHONE: (203)874-8316
EMAIL: info@ctcivilgroup.com

June 9, 2021

David Sulkis
City Planner, City of Milford
70 West River Street
Milford, CT 06460

Received DPLU

6/11/21

Re: Special Permit with Site Plan Review 615 Plains Rd dated 2/24/2021

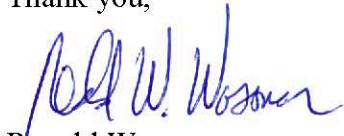
Dear David,

I am submitting revised plans for 615 Plains Rd. The revisions to the plans are as follows:

- 1) Provide a Statement of Use per Section 7.1.2.21
Response: A Statement of Use is included with this response letter.
- 2) Include floor plans showing existing building and describing the existing and proposed use per Section 7.1.2.
Response: Floor plans have been added to the plan set.
- 3) Provide landscape plan showing proposed landscaping in accordance with Section 7.1.2.15.
Response: A Landscape Plan Sheet has been added with a landscape plant list key with the proposed plants listed by their common and botanical names and specified sizes and quantities see sheet LS-1.
- 4) Show buffer plantings in compliance with buffer definition, Sections 11 and 7.1.2.15.
Response: Landscape plantings have been added with a landscape plant list key with the proposed plants listed by their common and botanical names and specified sizes and quantities see sheet LS-1. See Sheet LS-1.
- 5) Remove all light poles from the buffer areas per the buffer definition, Section 11.
Response: Per the definition in Section 11.2, a "buffer strip" is the strip of land along a property line or zone line abutting properties zoned residential. The site does not abut residential properties, no buffer strip is required.
- 6) Provide 5' landscaped area around the existing building per Section 5.14.6 (8).
Response: A 5' landscape area around the building is proposed, exclusive of any entrances and/or exits.
- 7) Place overhead utilities underground per Section 5.16.2.
Response: The existing overhead service has been revised to be proposed underground electric.
- 8) Show facilities (and designs, if applicable) of refuse/recycling containers per Section 7.1.2.17.
Response: A dumpster has been included on the proposed plans. See sheet SP-1.
- 9) Show elevation views of the building per Section 7.1.2.
Response: Elevation views of the building have been added to the plan set.
- 10) Specify exact species of street trees to be used per Section 7.1.2.15.
Response: Proposed street tree species has been specified. See sheet LS-1.

- 11) Provide design and elevation drawings of proposed fuel station per Section 7.1.2.
Response: Elevations of the proposed fuel station have been added to the details, see sheet D-2. The proposed fuel station is a self-contained fully enclosed pre-fabricated container. A specification data sheet has been included with this response letter.
- 12) Provide a breakdown of how you arrived at the proposed 67 employee parking spaces. It appears that no visitor parking was provided in accordance with section 5.1.
Response: There will be 67 employees this includes the drivers for the school buses and site staff employees. No visitors are anticipated.
- 13) Sheet ILL-1 schedule SL40HSA show a light fixture and pole over 20'. This is not compliant with Section 5.2.2.4. The combination of foundation, pole and fixture cannot exceed 20' from grade.
Response: The overall pole height detail has been revised. The luminaire mounts to the side of the 20ft pole this is depicted on the spec detail on sheet ILL-2. The combined height of the foundation, pole and fixture does not exceed 20 feet.
- 14) Add actual sheet letters/numbers to Title Sheet, "SP-1", etc.
Response: The title sheet has been revised to include the sheet letter/numbers.
- 15) This project may require posting of a bond in accordance with 7.1.1.4
Response: The applicant acknowledges that a bond may be required.

Thank you,



Ronald Wassmer

Cc: Project File



City of Milford, Connecticut

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Planning and Zoning
Office

David B. Sulkis, A.I.C.P.
City Planner

Milford Planning and Zoning Office Plan Review

615 Plains Road

Zone: LI

Special Exception with Site Plan Review for bus parking, maintenance and fueling facility.

Date Received: 12/2/2020, 6/11/21

Date Reviewed: 2/24/2021, 6/30/21

Materials Received

Sheet	Description	Date	Revised
Plan Set			
1	Title Sheet	12/1/2020	5/24/2021
EX-1	Existing Conditions Survey	12/1/2020	5/24/2021
SP-1	Site Plan	12/1/2020	5/24/2021
GDU-1	Grading, Drainage and Utility Plan	12/1/2020	5/24/2021
ES-1	Sedimentation and Erosion Control Plan	12/1/2020	5/24/2021
ILL-1	Illumination Plan 1	12/1/2020	5/24/2021
	Illumination Plan 2	12/1/2020	5/24/2021
	Details Sheet 1	12/1/2020	5/24/2021
	Details Sheet 2	12/1/2020	5/24/2021

Disposition of application:

- Drawings are presented for preliminary review and discussion only – no application is to be made; no drawings will be submitted.
- ✓ **Drawings and application are submitted for DPLU review and comment in preparation for application for possible Special Exception with Site Plan approval. A single set of drawings are submitted, electronic set of drawings will be forwarded via email, CD, or via drop box.**
- Drawings, application(s), and fee(s) are final and submitted for submission to the Planning and Zoning Board.

The applicant proposes to build a school bus storage, maintenance, and dispatch facility with outdoor fueling station.

- 1) Provide a Statement of Use per Section 7.1.2.21. **Re-review 6/30/21- Done.**

- 2) Include floor plans showing existing building and describing the existing and proposed use per Section 7.1.2. **Re-review 6/30/21-** Done.
- 3) Provide landscape plan showing proposed landscaping in accordance with Section 7.1.2.15. **Re-review 6/30/21-** Done.
- 4) Show buffer plantings in compliance with buffer definition, Sections 11 and 7.1.2.15. **Re-review 6/30/21-** Done.
- 5) Remove all light poles from the buffer areas per the buffer definition, Section 11. **Re-review 6/30/21-** Applicant correctly points out that the buffer area is not required, but a landscaped area is provided, so the light poles would remain.
- 6) Provide 5' landscaped area around the existing building per Section 5.14.6 (8). **Re-review 6/30/21-** Done.
- 7) Place overhead utilities underground per Section 5.16.2. **Re-review 6/30/21-** Done.
- 8) Show facilities (and designs, if applicable) of refuse/recycling containers per Section 7.1.2.17. **Re-review 6/30/21-** Done.
- 9) Show elevation views of the building per Section 7.1.2. **Re-review 6/30/21-** Done.
- 10) Specify exact species of street trees to be used per Section 7.1.2.15. **Re-review 6/30/21-** Done.
- 11) Provide design and elevation drawings of proposed fuel station per Section 7.1.2. **Re-review 6/30/21-** Done.
- 12) Provide a breakdown of how you arrived at the proposed 67 employee parking spaces. It appears that no visitor parking was provided in accordance with section 5.1. **Re-review 6/30/21-** Done.
- 13) Sheet ILL-1 schedule SL40HSA show a light fixture and pole over 20'. This is not compliant with Section 5.2.2.4. The combination of foundation, pole and fixture cannot exceed 20' from grade. **Re-review 6/30/21-** Clarified. Pole, foundation and fixture is compliant.
- 14) Add actual sheet letters/numbers to Title Sheet, "SP-1", etc. **Re-review 6/30/21-** Done.
- 15) This project may require posting of a bond in accordance with 7.1.1.4. **Re-review 6/30/21-** Acknowledged.

Conclusion:

As designated (checked) comply with the following:

- ✓ **Resubmit documents with corrections as noted and amendments as may be required for certification of the application's compliance with Milford Zoning Regulations.**

- Resubmit an updated electronic plan set to be marked received by city planner, and for preparation by the city planner for interdepartmental transmittal, and distribution to designated departments.
- ✓ **Provide electronic (PDF) submission or resubmission of all documents**
- Submit application and application fee for Special Exception with Site Plan and for receipt by the Planning and Zoning Commission

Review prepared for Thomas Lynch, Esq.

I look forward to working with you on your project.

Reviewed by: David B. Sulkis, Reviewing Officer

Sec. 18-90.2. Consultants. [Added 8-3-2015]

- (a) The Director of Permitting and Land Use or his designee, in consultation with the City Planner, or otherwise, shall make a determination whether one or more outside consultant(s) are needed to analyze, review and report on areas requiring technical review, and based on the nature, size or intensity of the land use application, it shall require use of consultants. Such consultant(s) may include, but shall not be limited to, engineers, surveyors, soil scientists, traffic consultants and information technologists.
- (b) The Planning and Zoning Board may also make a determination that one or more outside consultant(s) are needed, and based on the nature, size or intensity of the land use application, it shall require use of consultants. However, prior to making such a determination, the Planning and Zoning Board shall ascertain that evidence in the record of the proceedings has been produced or is likely to be produced that requires the hiring of such consultant(s); that the Department staff will be unable to perform the technical review; and that adequate time exists for the applicant to review and respond to such consultant(s)' report(s).
- (c) If such determination is made, the Director, or his designee, shall assess the reasonable cost for such consultant(s) to the applicant based upon a preliminary estimate from the consultant(s). The Director, or his designee, shall collect 150% of the estimate from the applicant, which amount shall be held in a special revenue account to be created by the Finance Director, until the technical review(s) are completed. Any amount in excess of the actual cost(s) shall be refunded to the applicant. This payment shall be considered an integral component of the application. The failure by the applicant to make this payment shall render the application incomplete.

Article VII – Planning & Zoning Board, continued.

SECTION 7.2 SPECIAL PERMIT APPROVAL

In all cases where these Regulations require Special Permit Approval, no permit shall be issued by the Zoning Enforcement Officer except upon approval of a Special Permit by the Planning and Zoning Board.

7.2.1 Application: Each application for a Special Permit shall be submitted in accordance with Sections 7.1.1 and 7.1.2 and the following:

- (1) Plans shall be reviewed by the City Engineer, with regard to parking layout, ingress and egress; drainage facilities; grading or regrading; sanitary sewer connections; all conditions of approval and any other engineering consideration at the discretion of the City Engineer. Such review shall be set forth in a report and conditions, if any, shall be detailed therein, and stamped on the Site Plans.
- (2) Plans shall be reviewed by the Police Department with regard to public safety and traffic conditions. Such review shall be set forth in a report detailing existing or anticipated traffic conditions and/or hazards on streets leading to the site, ingress and egress to the site; and any other public safety consideration. The applicant shall be required to submit a traffic study prepared by a licensed traffic engineer with any application which generates 100 or more vehicular trips during the peak hour.
- (3) Plans shall be reviewed by the Director of Public Health or Sewer Commission, whichever is applicable. Such review shall be set forth in a report, and conditions, if any, shall be detailed therein.
- (4) Plans shall be reviewed by the Fire Department and such review shall be set forth in a report and conditions, if any, shall be detailed therein.
- (5) Plans shall be reviewed by the Tree Commission and the Conservation Commission, in an advisory role, with regard to trees and natural resources. Such review shall be set forth in a report.

7.2.2 Special Permit. General Procedures: Application, Public Hearing, Voting.

In all matters wherein an application is made to the Planning and Zoning Board for a Special Permit a Public Hearing shall commence within 65 days after the receipt of the application. The date of receipt shall be the day of the next regularly scheduled meeting immediately following the day of submission or 35 days after such submission, whichever is sooner.

City of Milford, CT
Tuesday, December 28, 2021

Chapter 18. Planning

Article VII. PLANNING AND ZONING BOARD AND ZONING BOARD OF APPEALS

Sec. 18-90.2. Consultants.

[Added 8-3-2015]

- (a) The Director of Permitting and Land Use or his designee, in consultation with the City Planner, or otherwise, shall make a determination whether one or more outside consultant(s) are needed to analyze, review and report on areas requiring technical review, and based on the nature, size or intensity of the land use application, it shall require use of consultants. Such consultant(s) may include, but shall not be limited to, engineers, surveyors, soil scientists, traffic consultants and information technologists.
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- (6) Floor Area Ratio: A maximum of 2.5 FAR, exclusive of accessory parking garages or structures.

3.20.5 Prohibited Uses: The following uses shall be expressly prohibited:

3.20.5.1 No principal manufacturing, fabricating, assembly or processing of goods or products shall be permitted.

3.20.5.2 No junk yard; or outside storage yards shall be permitted.

3.20.5.3 No trucking terminal facilities for handling freight or material with or without maintenance facilities shall be permitted; except for clearly subordinate and customarily incidental delivery departments or off-street loading facilities operated by business concerns for their own use.

3.20.5.4 Any building or use which will not comply with the Performance Standards of Section 5.11 shall be prohibited.

3.20.6 Other Requirements

3.20.6.1 Traffic Study: All uses generating over one hundred (100) vehicle trips during a peak hour shall submit a traffic study prepared by a licensed traffic engineer.

3.20.6.2 Landscaping: All Site Plans shall conform with the requirements of Section 5.14 Landscaping, Screening and Buffer Area Standards.

*City of Milford, CT
Tuesday, December 28, 2021*

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10. Budget Memo Transfers

Ald. Veccharelli and Ald. Golden made and seconded a motion to approve Budget Memo Transfers #15 and 16, Fund 10, FY15. Motion carried unanimously.

11. Refunds

None.

12. Report of Standing Committees:

a. Ordinance Committee – Ald. Smith reported the Ordinance Committee met earlier in the evening to consider two ordinances. Ald. Smith stated both Ordinances reviewed tonight allowed for professional services to be required and paid for by the applicant. He stated the items were recommended to the full Board with requested changes.

Ald. Giannattasio requested a 5-minute recess. The Board recessed at 9:38 p.m.

Chairman Vetro reconvened the Board in public session at 9:53 p.m.

Ald. German stated he was confused as to the adjustments that were made at the Ordinance Committee and that he was looking for clarification as to the mechanism to require professional service. He asked if it was number of units, etc. He stated the language was confusing as currently written.

Ald. Smith stated it does not necessarily have to be a real estate project. He stated he felt the new language is sufficient and he would recommend voting in favor.

Ald. Bier stated the proposed Ordinance does not seem business friendly. He stated it is more layers of fees and encumbrances and that it did not seem fair. He also asked how it would be regulated. He also questioned why the Ordinance was necessary.

Mayor Blake stated this Ordinance was proposed to this Board over a year ago to even the playing field for all of the city's land use boards. He stated the land use boards have been inundated with citizens making requests for more information. Mayor Blake stated this Ordinance would give those land use boards the tools to do their job.

Ald. Giannattasio expressed concern that the Ordinance would be mis-used and people doing smaller jobs would be hurt. He recognized the DPLU director who was present and asked him how smaller projects would be handled and assurances the Ordinance not burden the small businessman.

Mr. Griffith stated they are currently in the process of constructing the new Shop Rite. He spoke of the State codes and the criteria that define a threshold building. He pointed out the Inland Wetlands Agency has the process in place to have consultants put in place for a particular project.

Ald. Bier asked how the Planning and Zoning Board would vote on issues and how long it would take someone to complete the process.

Mr. Griffith stated it would allow staff to have the necessary information available at hearings concerning large projects.

Ald. Giannattasio asked why the Ordinance if the mechanism in place in Inland Wetlands. He questioned why this Board was being asked to adopt an Ordinance for something that is already being practiced.

Mr. Griffith stated the Inland Wetlands Agency is allowed to have that additional consultant, but that Planning and Zoning does not have that enforcement in place.

Ald. Giannattasio asked how the consultants would be funded.

Mr. Griffith stated the applicant would pay the cost. He continued with an explanation of the process.

Ald. Giannattasio asked why the process could not be implemented through Planning and Zoning enforcement similar to what you the Inland Wetlands Agency is already doing. He commented it seemed to be reasonable and proactive.

Attorney Berchem referenced CGS 8-1c which he explained enables the Ordinance. He stated there are a number of municipalities that do it. He stated what is before the Board would codify what the Inland Wetlands Agency is already doing and more importantly would follow statutory requirements.

Ald. Giannattasio asked why an ordinance needed to be adopted.

Attorney Berchem stated the law requires the Ordinance be adopted.

Ald. Bier commented he wanted to see the Ordinance is fairly implemented and that there are qualifiers in place.

Attorney Berchem stated he looked at over 30 municipalities and approximately 2/3 had qualifiers in place.

Ald. Veccharelli stated he wholeheartedly supported the Ordinance. He spoke of the number of people who have come before the Planning and Zoning Board because of various applications in different Milford neighborhoods. He stated this Ordinance allows the people to get involved. He stated it also provides the rules and tools needed. Ald. Veccharelli stated the Ordinance would help those people better understand safety in their neighborhood.

Ald. German asked about the small businessman and if those individuals would be required to get additional data as well.

Mr. Griffith stated this would not be applicable to a homeowner.

Mayor Blake added the Ordinance would ensure proper development for those projects that could jeopardize health and safety of Milford citizens. He stated he has gotten more and more compliments that the process is working. He also commented Milford has the second busiest building department in the state. He reiterated it is for those projects that could jeopardize any particular neighborhood.

Ald. Shaw added the Ordinance is about empowering an elected Board and giving them the proper tools, which is important in order to be responsive to the citizens of Milford.

Ald. Casey commented the Ordinance also allows the director to require a consultant when necessary. He asked if there is anything in place that prevents a medium size project from having to pay exorbitant fees for consultants.

Mr. Griffith stated it would be a well defined scope of work.

Ald. Casey stated it was his understanding each project already goes through several city departments so that projects are currently being well vetted. He asked how he would envision the issues the departments would have to address.

Ald. Griffith stated there have been at least 3-4 applications where a third party expert was needed.

By roll call vote the motion carried 13 yes (Anderson, Bier, Casey, Giannattasio, Golden, Hardiman, Kubek, Shaw, Smith, Stanford, Veccharelli, Vetro, Vitali) and 2 no (Fontana, German).

12a-2 Smith/Veccharelli made and seconded a motion to approve An Ordinance Establishing Chapter 18, Article XII, Section 18-166.2 of the Code of Ordinances of the City of Milford, (Inland Wetlands Agency – Consultants).

Ald. Smith stated the Ordinance is similar to the Ordinance just passed and codifies the reasonable cost for third party costs. The Ordinance was forwarded to the full Board in its original form.

Motion carried unanimously.

- b. Public Safety and Welfare Committee – no report.
- c. Public Works Committee – no report.
- d. Claims Committee – no report.
- e. Rules Committee – no report.
- f. Personnel Committee – no report.

13. Report of Special Committees:

- a. Liaison Sub-Committee – Board of Education – none.
- b. Liaison Sub-Committee – Flood & Erosion Board – no report.
- c. Liaison Sub-Committee – Park, Beach & Recreation Comm. – no report
- d. Liaison Sub-Committee – Planning & Zoning Board – no report.
- e. Liaison Sub-Committee – Sewer Commission – no report.
- f. Liaison Sub-Committee – Harbor Management Commission – no report.