

SUBMISSION TO THE CITY OF MILFORD
PLANNING AND ZONING DEPARTMENT
FOR SITE PLAN REVIEW

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION

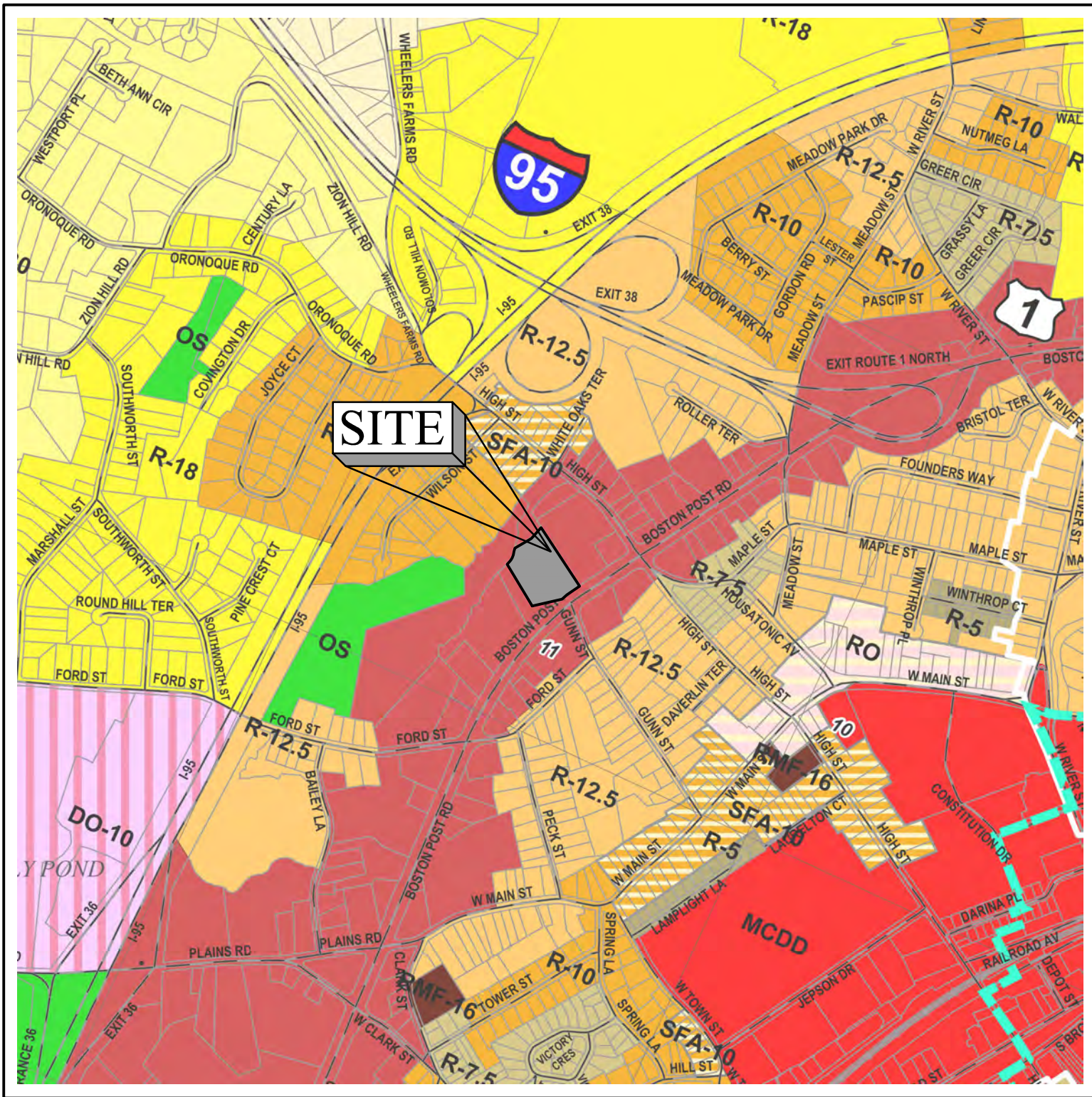
470 BOSTON POST ROAD
MILFORD, CONNECTICUT

TAX ASSESSOR MAP 064, BLOCK 930, PARCEL 9
ZONE: CORRIDOR DESIGN DEVELOPMENT DISTRICT 1 (CDD-1)

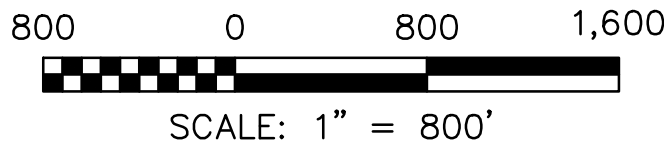
MARCH 9, 2022
(REVISED AUGUST 18, 2022)

LIST OF DRAWINGS

SHEET	TITLE	DATE	REVISED
	COVER SHEET	03/09/2022	07/29/2022
1 of 1	PROPERTY TOPOGRAPHIC SURVEY	05/21/2022	-
1 of 1	LIMITED TOPOGRAPHIC SURVEY	12/21/2021	-
OS-1	OVERALL SITE PLAN	09/08/2021	07/29/2022
G-1	GENERAL NOTES	03/09/2022	07/29/2022
X-1	EXISTING CONDITIONS PLAN	03/09/2022	07/29/2022
C-1	SITE PLAN	03/09/2022	07/29/2022
C-2	GRADING PLAN	03/09/2022	07/29/2022
C-3	UTILITIES PLAN	03/09/2022	07/29/2022
ES-1	SOIL EROSION AND SEDIMENTATION CONTROL PLAN	03/09/2022	07/29/2022
ES-2	SOIL EROSION AND SEDIMENTATION CONTROL NARRATIVE AND DETAILS	03/09/2022	07/29/2022
L-1	OVERALL LANDSCAPE PLAN	07/01/2022	08/18/2022
L-2	COURTYARD PLAN AND DETAILS	07/01/2022	08/18/2022
CD-1	CONSTRUCTION DETAILS	03/09/2022	07/29/2022
CD-2	CONSTRUCTION DETAILS	03/09/2022	07/29/2022
CD-3	CONSTRUCTION DETAILS	03/09/2022	07/29/2022
A-1	NEW BUILDING FLOOR PLAN	06/23/2022	07/29/2022
A-2.0	NEW BUILDING EXTERIOR FRONT & REAR ELEVATIONS	06/23/2022	07/29/2022
A-2.1	NEW BUILDING EXTERIOR SIDE & INTERIOR ELEVATIONS	06/23/2022	07/29/2022



SITE LOCATION MAP



PROPERTY OWNER

GOLD COAST REALTY LLC
470 Boston Post Road
Milford, CT 06460

Contact Name: Robert E. Crabtree Jr.
Telephone: (203) 231-3103
Email: Rcrabtree@colonialtoyotact.com

ARCHITECTURAL SERVICES

JOHN RUFFALO III ARCHITECTS
415 Howe Avenue, Suite 302
Shelton, CT 06484

Contact Name: John Ruffalo III
Telephone: (203) 924-2272
Email: ruffaloarch@mags.net

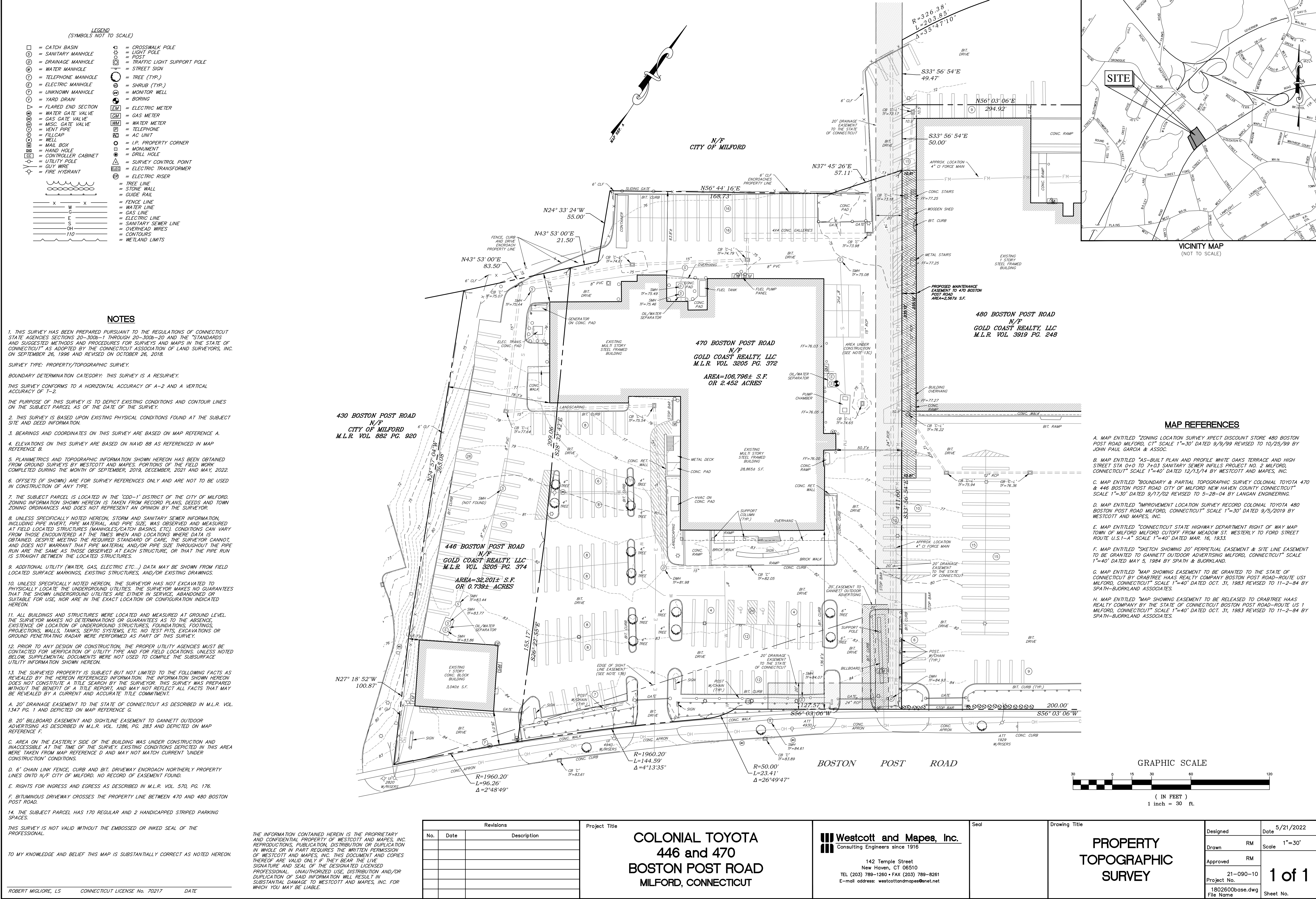
CIVIL ENGINEERING AND SURVEYING SERVICES

Westcott and Mapes, Inc.
Consulting Engineers since 1916

142 Temple Street, Suite 202
New Haven, CT 06510

Contact Name: Raymond G. Paier, P.E.
Telephone: (203) 789-1260
E-mail: rpaier@westcottandmapes.com

W&M Project No. 21-090-10



MAP REFERENCES

- A. MAP ENTITLED "ZONING LOCATION SURVEY XPECT DISCOUNT STORE 480 BOSTON POST ROAD MILFORD, CT" SCALE 1"=30' DATED 9/9/99 REVISED TO 10/25/99 BY JOHN PAUL GARCIA & ASSOC.
- B. MAP ENTITLED "AS-BUILT PLAN AND PROFILE WHITE OAKS TERRACE AND HIGH STREET STA 0+0 TO 7+03 SANITARY SEWER INFILLS PROJECT NO. 2 MILFORD, CONNECTICUT" SCALE 1"=40' DATED 12/13/14 BY WESTCOTT AND MAPES, INC.
- C. MAP ENTITLED "BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY COLONIAL TOYOTA 470 & 446 BOSTON POST ROAD CITY OF MILFORD NEW HAVEN COUNTY CONNECTICUT" SCALE 1"=30' DATED 9/17/02 REVISED TO 5-28-04 BY LANGAN ENGINEERING.
- D. MAP ENTITLED "IMPROVEMENT LOCATION SURVEY RECORD COLONIAL TOYOTA 480 BOSTON POST ROAD MILFORD, CONNECTICUT" SCALE 1"=30' DATED 9/5/2019 BY WESTCOTT AND MAPES, INC.
- E. MAP ENTITLED "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF MILFORD MILFORD CUTOFF FROM MEADOW ST. WESTERLY TO FORD STREET ROUTE U.S.1-A" SCALE 1"=40' DATED MAR. 16, 1933.

- LEGEND
(SYMBOLS NOT TO SCALE)
- = CATCH BASIN
○ = SANITARY MANHOLE
⊙ = DRAINAGE MANHOLE
⊖ = WATER MANHOLE
⊕ = TELEPHONE MANHOLE
⊗ = ELECTRIC MANHOLE
⊘ = UNKNOWN MANHOLE
▽ = YARD DRAIN
⊖ = FLARED END SECTION
⊕ = WATER GATE VALVE
⊗ = GAS GATE VALVE
⊘ = MISC. GATE VALVE
⊙ = VENT PIPE
⊕ = FILLCAP
⊗ = WELL
⊘ = MAIL BOX
⊙ = HAND HOLE
⊕ = CONTROLLER CABINET
⊗ = UTILITY POLE
⊘ = GUY WIRE
⊙ = FIRE HYDRANT
- = CROSSWALK POLE
○ = LIGHT POLE
○ = POST
⊕ = TRAFFIC LIGHT SUPPORT POLE
⊖ = STREET SIGN
○ = TREE (TYP.)
○ = SHRUB (TYP.)
⊕ = MONITOR WELL
⊗ = BORING
⊘ = ELECTRIC METER
⊙ = GAS METER
⊕ = WATER METER
⊗ = TELEPHONE
⊘ = AC UNIT
○ = I.P. PROPERTY CORNER
⊕ = MONUMENT
⊗ = DRILL HOLE
⊘ = SURVEY CONTROL POINT
⊙ = ELECTRIC TRANSFORMER
⊕ = ELECTRIC RISER
⊗ = TREE LINE
⊘ = STONE WALL
⊙ = GUIDE RAIL
⊕ = FENCE LINE
⊗ = WATER LINE
⊘ = GAS LINE
⊙ = ELECTRIC LINE
⊕ = SANITARY SEWER LINE
⊗ = OVERHEAD WIRES
⊘ = CONTOURS
⊙ = WETLAND LIMITS
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NOTES

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26,1996 AND REVISED ON OCTOBER 26, 2018.

SURVEY TYPE: LIMITED TOPOGRAPHIC SURVEY

BOUNDARY DETERMINATION CATEGORY: PROPERTY LINES DEPICTED ON THIS SURVEY ARE BASED ON MAP REFERENCE C AND DO NOT REPRESENT AN OPINION BY THE SURVEYOR. THEY ARE NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY, AND ARE SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.

EXISTING SITE CONDITIONS DEPICTED ON THIS SURVEY CONFORM TO A HORIZONTAL ACCURACY OF A-2 AND A VERTICAL ACCURACY OF T-2.

PROPERTY LINES DEPICTED ON THIS SURVEY CONFORM TO CLASS D.

THE PURPOSE OF THIS SURVEY IS TO DEPICT EXISTING CONDITIONS ON A PORTION OF THE SUBJECT PARCEL BETWEEN THE BUILDINGS KNOWN AS 470 AND 480 BOSTON POST ROAD AS OF THE DATE OF THE SURVEY. EXISTING CONDITIONS DEPICTED BEYOND THIS PROJECT SCOPE MAY NOT REFLECT CURRENT SITE CONDITIONS.

2. THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE.

3. BEARINGS AND COORDINATES ON THIS SURVEY ARE BASED ON MAP REFERENCE A.

4. ELEVATIONS ON THIS SURVEY ARE BASED ON NAVD 88 AS REFERENCED IN MAP REFERENCE B.

5. PLANIMETRICS AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY WESTCOTT AND MAPES. FIELD WORK COMPLETED DURING THE MONTH OF SEPTEMBER, 2019 AND UPDATED DECEMBER, 2021.

6. OFFSETS (IF SHOWN) ARE FOR SURVEY REFERENCES ONLY AND ARE NOT TO BE USED IN CONSTRUCTION OF ANY TYPE.

7. THE SUBJECT PARCEL IS LOCATED IN THE "CDD-1" DISTRICT OF THE CITY OF MILFORD. ZONING INFORMATION SHOWN HEREON IS TAKEN FROM RECORD PLANS, DEEDS AND TOWN ZONING ORDINANCES AND DOES NOT REPRESENT AN OPINION BY THE SURVEYOR.

8. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION, INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE, WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED, DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.

9. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC...) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS, EXISTING STRUCTURES, AND/OR EXISTING DRAWINGS.

10. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.

11. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.

12. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS, UNLESS NOTED BELOW, SUPPLEMENTAL DOCUMENTS WERE NOT USED TO COMPILE THE SUBSURFACE UTILITY INFORMATION SHOWN HEREON.

13. THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE FOLLOWING FACTS AS REVEALED BY THE HEREON REFERENCED INFORMATION. THE INFORMATION SHOWN HEREON DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, AND MAY NOT REFLECT ALL FACTS THAT MAY BE REVEALED BY A CURRENT AND ACCURATE TITLE COMMITMENT.

A. 20' DRAINAGE EASEMENT TO THE STATE OF CONNECTICUT.

B. 20' BILLBOARD EASEMENT TO GANNETT OUTDOOR ADVERTISING.

THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ROBERT MIGLIORE, LS CONNECTICUT LICENSE No. 70217 DATE

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Revisions		
No.	Date	Description

Project Title

COLONIAL TOYOTA
470 BOSTON POST ROAD
MILFORD, CONNECTICUT

Westcott and Mapes, Inc.
Consulting Engineers since 1916

142 Temple Street
New Haven, CT 06510
TEL (203) 789-1260 • FAX (203) 789-8261
E-mail address: westcottandmapes@net.net

Seal

Drawing Title

LIMITED
TOPOGRAPHIC
SURVEY

Designed	RM	Date	12/21/2021
Drawn	RM	Scale	1"=30'
Approved	RM		
Project No.	21-090-10		
File Name	1802600base.dwg		
		Sheet No.	1 of 1

ZONING TABLE

470 BOSTON POST ROAD, MILFORD, CT

ZONE: CDD-1

CORRIDOR DESIGN DEVELOPMENT DISTRICT 1

Section No.	Description	Required	Existing	Proposed	Comment
3.16.2	Special uses				
3.16.2.3	Commercial garage, gasoline station, vehicle repair and/or service garage, vehicle dealership, vehicle washing establishment, or other similar uses, subject to all applicable provisions of Section 5.4 herein		Vehicle dealership	Vehicle dealership	Complies
3.16.4	Lot and Building Requirements				
3.16.4.1	Minimum Lot Requirements				
(1) Lot Area	10,000 s.f.	3	106,796 s.f. ±	106,796 s.f. ± (A)	Complies
(2) Lot Width	50 ft.	3	293 ft. ±	293 ft. ±	Complies
(3) Lot Depth	100 ft.	3	388 ft. ±	388 ft. ±	Complies
3.16.4.2	Minimum Yard and Open Space Required				
(1) Principal Uses					
(a) Front Yard	20 ft.		137 ft.	137 ft.	Complies
(b) Side and Rear Yards	0 ft. (4 ft. if provided)		50 ft. side 24 ft. rear	0 ft. side (B) 79 ft. rear (C)	Complies
3.16.4.3	Building requirements				
(1) Design	In harmony with neighborhood		In harmony with neighborhood	In harmony with neighborhood	Complies
(2) Length	Not unreasonable		209 ft.	268 ft.	Complies
(3) Height	40 ft. Maximum		31 ft.	26 ft. ± (D)	Complies
(4) Spacing	1/3 the sum of the heights		N/A	N/A	Complies
(5) Building Area	50% Maximum		27.0% (E)	32.8% (F)	Complies
(6) Floor Area Ratio	1.0 Maximum		0.27	0.33	Complies
(7) Access Management	1 per each 50 ft. max. of Route 1 frontage (10 Max. allowed)		3	3	Complies

NOTES:

- (A) Lot Area of Colonial Toyota #470 Boston Post Road only.
 (B) Proposed side yard measured to "Service Center" Building Expansion.
 (C) Proposed rear yard measured to "Service Center" Building Expansion.
 (D) Proposed height of "Service Center" Building Expansion.
 (E) Existing Dealership Building Area divided by lot area of 470 Boston Post Road property.
 (F) Existing Dealership Building plus proposed Service Center Building Expansion divided by lot area of 470 Boston Post Road property.

Section No.	Description	Required	Existing	Comment
5.4.1	Vehicle dealership			
5.4.2	General Conditions			
5.4.2.1	Minimum lot area	22,000 s.f.	106,796 s.f. ±	Complies
5.4.2.2	Minimum lot width	100 ft.	293 ft. ±	Complies
5.4.2.3	Storage of petroleum	Not to exceed 40,000 gallons	N/A	N/A
5.4.2.4	Driveway aprons	25 ft. from intersection	523 ft. ±	Complies
5.4.2.5	Fuel pumps	Located min. 25' from street or adjacent lot line	N/A	N/A
5.4.2.6	Outside vehicle display	No closer than 10 ft. from street line or adjacent lot line	10 ft. ±	Complies
5.4.2.7	Adequate area for parking and storage	To be provided on private property	On-site	Complies
5.4.2.8	Adequate necessary lights	Shielded to adjacent properties	Maintain exist. no spillage	Complies
5.4.2.9	Appropriate landscape and screening	Article V, Section 5.14	Maintain existing	Existing
5.4.3	Location Requirements	Consideration of location in reference to other uses	Consistent with surrounding uses	Complies

VEHICLE DISPLAY AREAS		
AREA (SF)	PARKING SPACES	
AREA A	5,885	24 SPACES
AREA B	5,581	23 SPACES
TOTAL	11,466	47 SPACES

EMPLOYEES AND PATRONS		
AREA	SPACES	
AREA C	8 SPACES	
AREA D	21 SPACES	
AREA E	53 SPACES	
AREA F	24 SPACES	
AREA G	11 SPACES	
AREA H	36 SPACES	
TOTAL	153 SPACES	

NOTE:

THE BACKGROUND INFORMATION DEPICTED HEREON ORIGINATES FROM A COMPILED OF THE FOLLOWING:

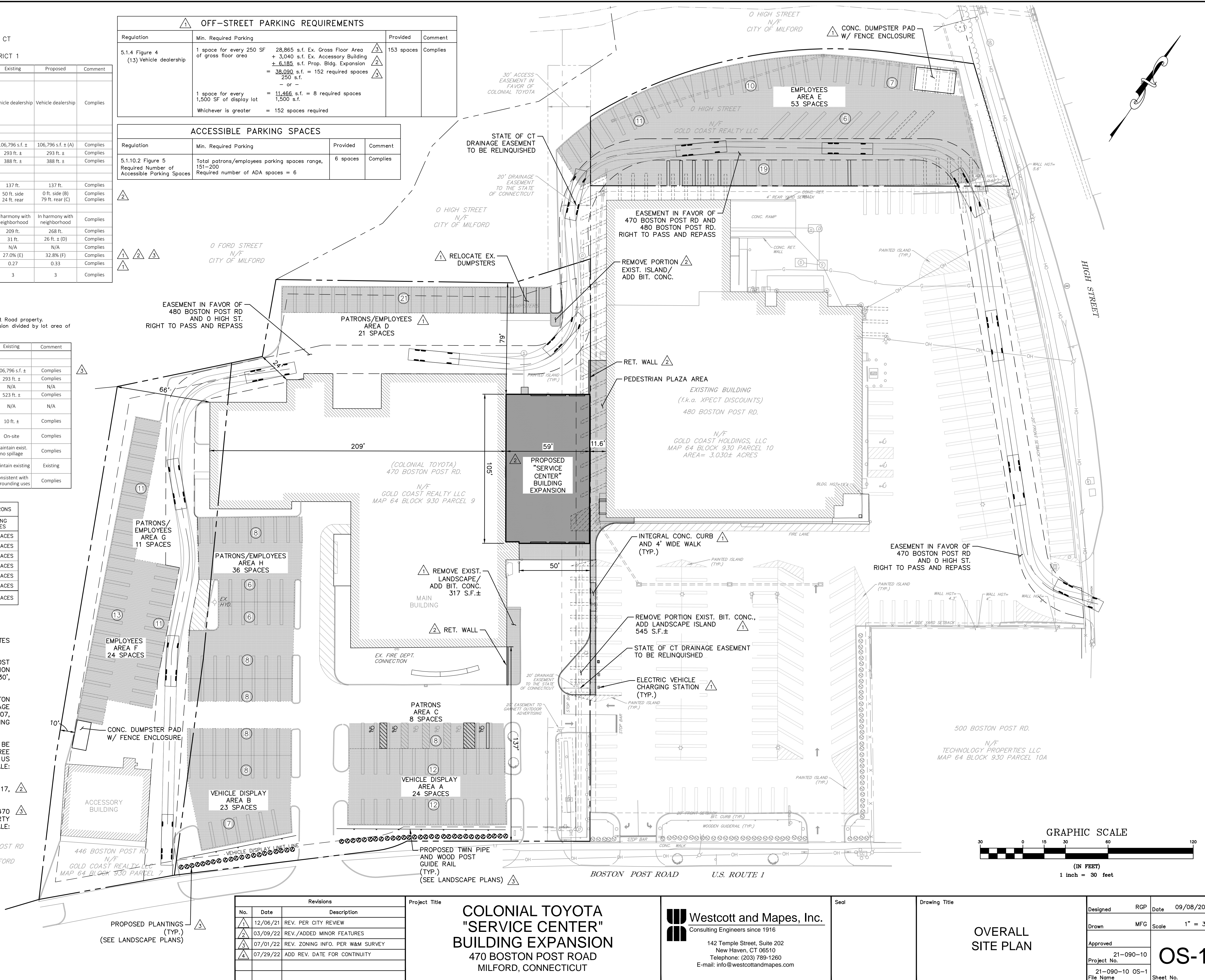
- A. A MAP ENTITLED "COLONIAL TOYOTA 480 BOSTON POST ROAD MILFORD, CONNECTICUT IMPROVEMENT LOCATION SURVEY RECORD", DATE: 9/5/2019, SCALE: 1"=30', SHEET 1 OF 1, BY: WESTCOTT AND MAPES, INC.
- B. A MAP ENTITLED "COLONIAL TOYOTA 446-470 BOSTON POST ROAD MILFORD, CONNECTICUT GRADING & DRAINAGE PLAN, CONSTRUCTION DOCUMENTS", DATE: 04/16/07, SCALE: 1"=30', SHEET 21.01CD, BY: LANGAN ENGINEERING & ENVIRONMENTAL SERVICES.
- C. A MAP ENTITLED "MAP SHOWING EASEMENT TO BE GRANTED TO THE STATE OF CONNECTICUT BY CRABTREE HASS REALTY COMPANY, BOSTON POST ROAD-ROUTE US 1, MILFORD, CONNECTICUT", DATE: OCT. 31, 1983, SCALE: 1"=40', BY: SPATH-BJORK LAND ASSOCIATES INC.
- D. CITY OF MILFORD ASSESSOR MAP 064, DATE: FEB 17, 2010, SCALE: 1"=100'.
- E. A MAP ENTITLED "COLONIAL TOYOTA 446 AND 470 BOSTON POST ROAD MILFORD, CONNECTICUT PROPERTY TOPOGRAPHIC SURVEY", DATE: 05/21/2022, SCALE: 1"=30', BY: WESTCOTT AND MAPES, INC.

OFF-STREET PARKING REQUIREMENTS

Regulation	Min. Required Parking	Provided	Comment
5.1.4 Figure 4 (13) Vehicle dealership	1 space for every 250 SF of gross floor area 28,865 s.f. Ex. Gross Floor Area + 3,040 s.f. Ex. Accessory Building = 6,185 s.f. Prop. Bldg. Expansion = 38,090 s.f. = 152 required spaces 250 s.f. - or - 1 space for every 1,500 SF of display lot = 11,466 s.f. = 8 required spaces 1,500 s.f. = 152 spaces required Whichever is greater	153 spaces	Complies

ACCESSIBLE PARKING SPACES

Regulation	Min. Required Parking	Provided	Comment
5.1.10.2 Figure 5 Required Number of Accessible Parking Spaces	Total patrons/employees parking spaces range, 151-200 Required number of ADA spaces = 6	6 spaces	Complies



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Revisions		
No.	Date	Description
1	12/06/21	REV. PER CITY REVIEW
2	03/09/22	REV./ADDED MINOR FEATURES
3	07/01/22	REV. ZONING INFO. PER W&M SURVEY
4	07/29/22	ADD REV. DATE FOR CONTINUITY

Project Title

**COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION**
470 BOSTON POST ROAD
MILFORD, CONNECTICUT



Westcott and Mapes, Inc.
Consulting Engineers since 1916

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Seal



Drawing Title

**OVERALL
SITE PLAN**

Designed	RGP	Date	09/08/2021
Drawn	MFG	Scale	1" = 30'
Approved			
Project No.	21-090-10		
File Name	21-090-10 OS-1		
Sheet No.	OS-1		

FILE NAME: L:\PROJECTS-2021\21-090-00 COLONIAL TOYOTA SERVICE CENTER 470 BOSTON POST ROAD\DRAWINGS\21-090-10 CIVILING

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Revisions		
No.	Date	Description
	07/01/22	ADDED REV. DATE FOR CONTINUITY
	07/29/22	ADDED REV. DATE FOR CONTINUITY

Project Title

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT



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Seal

Drawing Title

GENERAL NOTES

GENERAL NOTES

- THE PURPOSE OF THIS PLAN SET IS TO PROVIDE THE CIVIL/SITE ENGINEERING AND ARCHITECTURAL INFORMATION FOR SUBMISSION TO THE CITY OF MILFORD FOR SITE PLAN REVIEW.
- THE VERTICAL DATUM OF THIS PLAN SET IS NAVD '88.
- THE CONTRACTOR SHALL MAINTAIN ALL OF HIS OPERATIONS AND WORK WITHIN THE AREAS DENOTED ON THESE PLANS.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND PERFORM A FIELD INVESTIGATION PRIOR TO COMMENCEMENT OF HIS WORK.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHERE APPLICABLE, THROUGHOUT THE PROJECT DURATION, IN ACCORDANCE WITH THIS PLAN SET AND WITH THE STATE OF CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL, LATEST EDITION.
- THE CONTRACTOR SHALL CONTACT 811 "CALL BEFORE YOU DIG" AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING WORK.
- EXISTING UTILITIES MAY BE SHOWN ACCORDING TO REFERENCE PLANS WHEN AVAILABLE, SKETCHES, TESTIMONY, AND/OR FIELD EVIDENCE AND MUST BE CONSIDERED APPROXIMATE IN NATURE. THE CONTRACTOR SHALL CONFIRM ACTUAL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES IF AND WHERE NECESSARY. THERE MAY BE OTHER FEATURES AND/OR UTILITIES THAT EXIST NOT SHOWN AND ARE UNKNOWN TO THE AUTHOR OF THESE PLANS.
- THE CONTRACTOR SHALL DIG TEST PITS WHERE NECESSARY TO DETERMINE THE LOCATION, DEPTH, SIZE, AND MATERIAL OF BURIED UTILITIES AND OTHER FEATURES IN THE AREA OF HIS INTENDED WORK TO DETERMINE IF ANY POTENTIAL CONFLICTS MAY OCCUR, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ACCURATELY DOCUMENT THE EXISTING INFORMATION IN WRITING AND SHALL NOTIFY THE OWNER AND ENGINEER OF THE OPPORTUNITY FOR FIELD OBSERVATION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATING ALL WORK REGARDING THIS PROJECT AND FOR OBTAINING ANY NECESSARY PERMITS RELATED TO HIS CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL APPLICABLE AGENCIES AND UTILITY COMPANIES, AS NECESSARY, FOR PROJECT COMPLETION. THE CONTRACTOR SHALL PERFORM ALL UTILITY RELOCATION WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPECIFIC UTILITY PROVIDER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING A SAFE ENVIRONMENT FOR WORKERS, PEDESTRIANS, AND VEHICULAR TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD, AND COORDINATE HIS EFFORTS AND HIS SEQUENCE AND TIMING OF OPERATIONS WITH THE PROPERTY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DEMOLITION, REMOVAL, AND OFF-SITE DISPOSAL OF EXISTING FEATURES, WITHIN THE LIMITS OF WORK, AS REQUIRED FOR THE INSTALLATION OF NEW WORK.
- ANCILLARY OR OTHER EXISTING FEATURES MAY EXIST WHICH ARE NOT SPECIFICALLY IDENTIFIED OR CALLED FOR DEMOLITION, ABANDONMENT, OR REMOVAL, BUT SHALL BE INCLUDED AS SUCH, AS APPROPRIATE, FOR THE PROPER SITE PREPARATION OF THE NEW WORK.
- EXCAVATION AND CONSTRUCTION ACTIVITY SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT ALL EXISTING FEATURES, UTILITIES, OR STRUCTURES THAT ARE TO REMAIN SHALL NOT BE DAMAGED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING FEATURES TO REMAIN. IF DAMAGED, HE SHALL REPAIR OR REPLACE IN-KIND. ALL RELATED REPAIR OR REPLACEMENT WORK SHALL BE AT THE CONTRACTOR'S OWN EXPENSE.
- THE CONTRACTOR SHALL RESTORE OR REPLACE, IN KIND OF SAME MATERIAL AND QUALITY, ALL SITE ITEMS AND FEATURES REMOVED OR DISTURBED WITHIN THE LIMITS AND LOCATION OF HIS WORK THAT ARE INTENDED TO BE FINAL FEATURES. THE CONTRACTOR SHALL COORDINATE AND CONFIRM HIS RESTORATION WORK AND MATERIALS WITH THE PROPERTY OWNER PRIOR TO EXECUTION AND SHALL OBTAIN SATISFACTION RELEASE FROM THE OWNER UPON COMPLETION.
- IN AREAS WHERE ROCK IS ENCOUNTERED, WITHIN THE LIMITS OF WORK, THE FOLLOWING SHALL APPLY: IN PAVEMENT AREAS, ROCK SHALL BE REMOVED TO A MINIMUM DEPTH OF 20" BELOW THE FINISH GRADE OF THE PAVEMENT; IN AREAS OF STORM DRAINAGE AND/OR RETENTION STRUCTURES, ROCK SHALL BE REMOVED TO A MINIMUM DEPTH OF 24" BELOW THE BOTTOM OF THE STRUCTURE; IN AREAS OF GENERAL UTILITIES, ROCK SHALL BE REMOVED TO A MINIMUM DEPTH OF 12" BELOW THE BOTTOM OF THE PIPE; AND FOR PLANTINGS, ROCK SHALL BE REMOVED 24" AROUND/BELOW THE ROOT BALL. IF/WHERE ROCK REMOVAL IS IN QUESTION, THE CONTRACTOR SHALL CONTACT THE ENGINEER.
- THE MINIMUM VERTICAL SEPARATION BETWEEN UTILITY CROSSINGS SHALL BE 12" WITH COMPACTED SUITABLE BEDDING MATERIAL BETWEEN THE UTILITIES UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS OF NON-SPECIFIC SURFACE TREATMENT OR PLANTINGS SHALL RECEIVE A MINIMUM OF 6" OF SCREENED TOPSOIL AND GENERAL SUN/SHADE GRASS SEED MIXTURE.
- IF GROUNDWATER AND/OR SURFACE RUN-OFF IS ENCOUNTERED AND DEWATERING BECOMES NECESSARY, MEASURES SHALL BE TAKEN TO ENSURE THE PRESERVATION OF EXISTING SOILS AND FEATURES. MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO DISCHARGING WATER INTO A SUITABLE SEDIMENTATION FILTER SYSTEM, PROTECTION FROM SCOUR AND RELEASE INTO A PROPER/ACCEPTABLE RECEIVING FACILITY.
- UNLESS OTHERWISE SPECIFIED, PROCEDURES, METHODS, AND MATERIALS FOR THIS PROJECT SHALL CONFORM TO THE "STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 818, 2020 AND AS AMENDED.

Designed RGP

Date 03/09/2022

Drawn NWE

Scale N/A

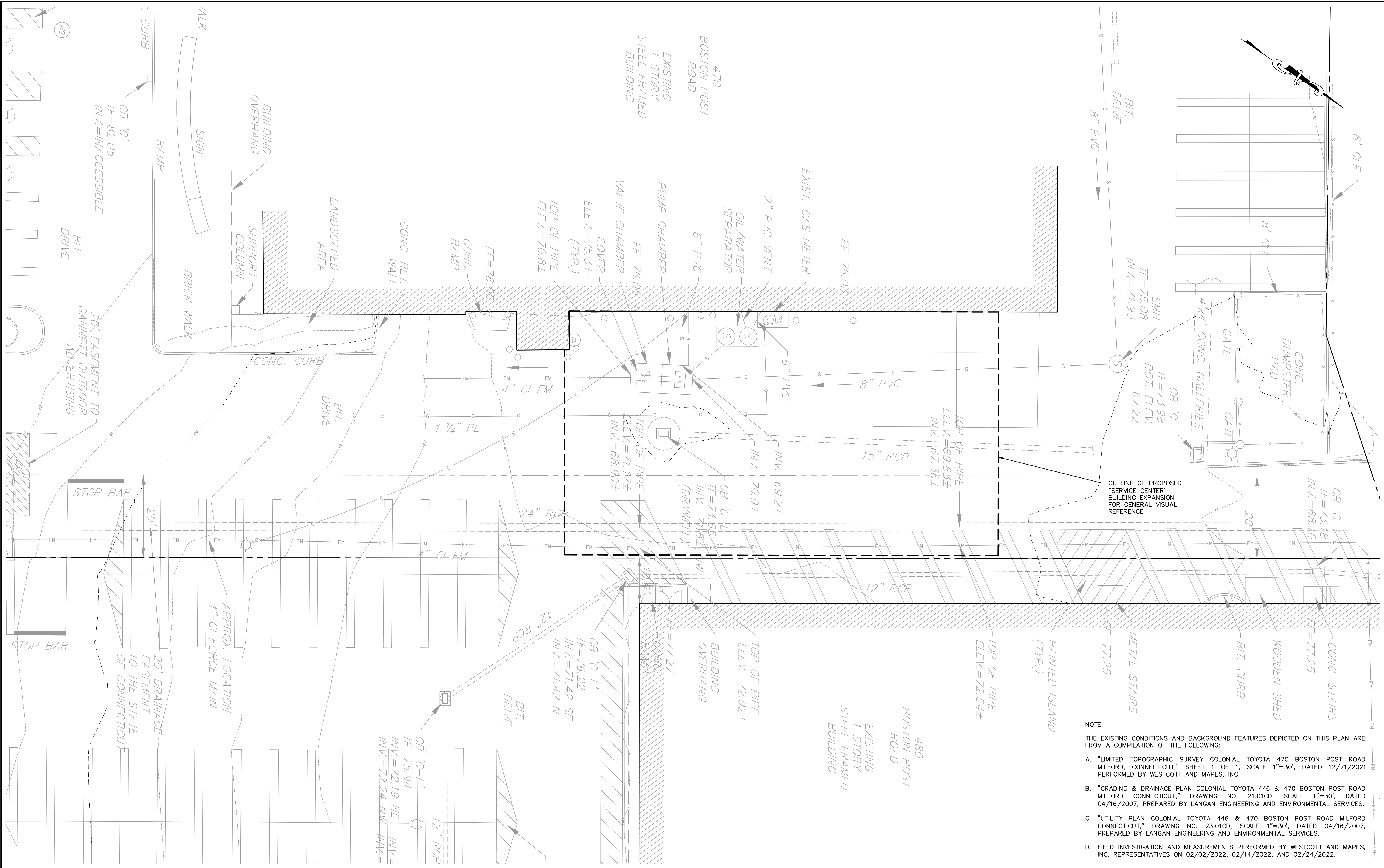
Approved

Project No. 21-090-10

21-090-10 CIVIL
File Name

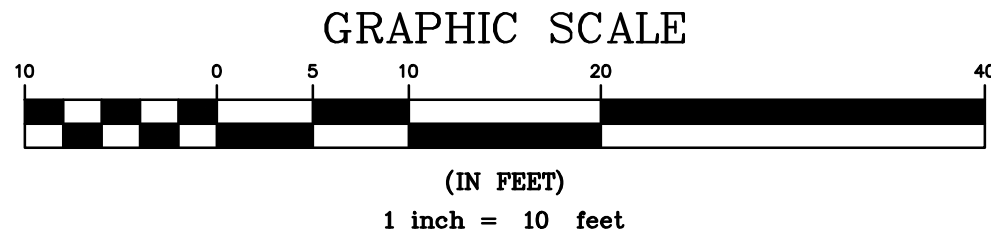
G-1

Sheet No.



- NOTE:
- THE EXISTING CONDITIONS AND BACKGROUND FEATURES DEPICTED ON THIS PLAN ARE FROM A COMPILED OF THE FOLLOWING:
- A. "LIMITED TOPOGRAPHIC SURVEY COLONIAL TOYOTA 470 BOSTON POST ROAD MILFORD, CONNECTICUT," SHEET 1 OF 1, SCALE 1"=30', DATED 12/21/2021 PERFORMED BY WESTCOTT AND MAPES, INC.
 - B. "GRADING & DRAINAGE PLAN COLONIAL TOYOTA 446 & 470 BOSTON POST ROAD MILFORD, CONNECTICUT," DRAWING NO. 21.01CD, SCALE 1"=30', DATED 04/16/2007, PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES.
 - C. "UTILITY PLAN COLONIAL TOYOTA 446 & 470 BOSTON POST ROAD MILFORD CONNECTICUT," DRAWING NO. 23.01CD, SCALE 1"=30', DATED 04/16/2007, PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES.
 - D. FIELD INVESTIGATION AND MEASUREMENTS PERFORMED BY WESTCOTT AND MAPES, INC. REPRESENTATIVES ON 02/02/2022, 02/14/2022, AND 02/24/2022.

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Revisions		
No.	Date	Description
1	07/01/22	ADDED REV. DATE FOR CONTINUITY
2	07/29/22	ADDED REV. DATE FOR CONTINUITY

Project Title

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT



Westcott and Mapes, Inc.

Consulting Engineers since 1916
142 Temple Street, Suite 202
New Haven, CT 06510
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E-mail: info@westcottandmapes.com

Seal

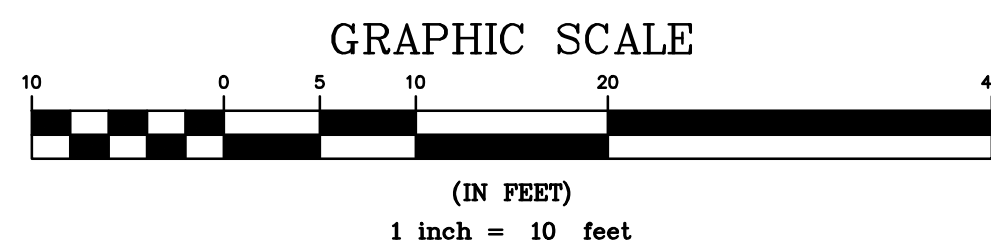
Drawing Title

EXISTING
CONDITIONS
PLAN

Designed	RGP	Date	03/09/2022
Drawn	NWE	Scale	1" = 10'
Approved	X-1		
Project No.			
File Name			

FILE NAME: I:\PROJECTS-2021\21-090-10 COLONIAL TOYOTA SERVICE CENTER 470 BOSTON POST RD\DRAWINGS\21-090-10 CIVILING

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Revisions		
No.	Date	Description
1	07/01/22	REV PER LANDSCAPE PLANS
2	07/29/22	REV PER ARCHT. PLANS

Project Title

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT



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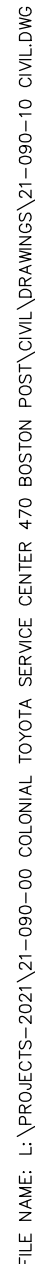
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Drawing Title

SITE PLAN

Designed	RGP	Date	03/09/2022
Drawn	NWE	Scale	1" = 10'
Approved			
Project No.	21-090-10		
File Name	21-090-10 CIVIL		
C-1			Sheet No.



GRAPHIC SCALE

(IN FEET)
1 inch = 10 feet

Project Title



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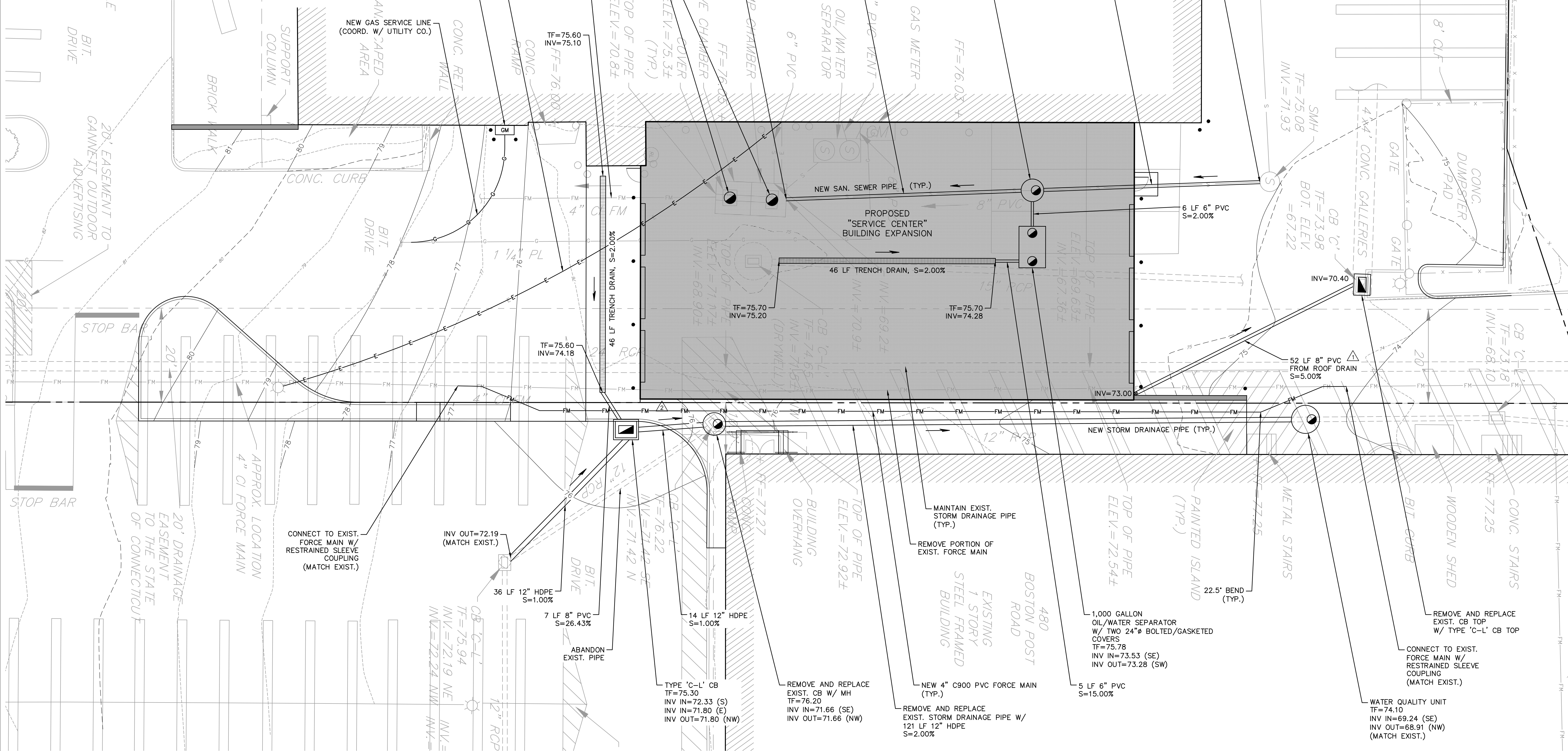
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Drawing Title

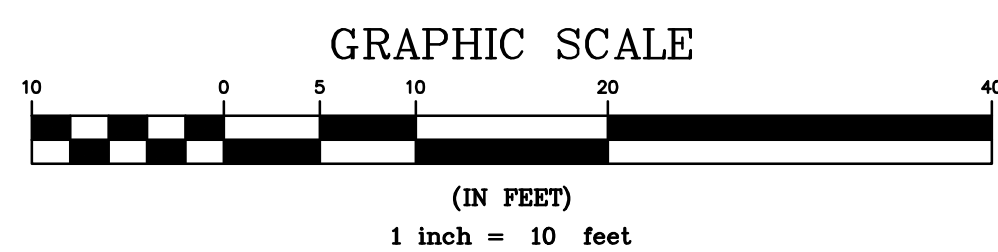
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Drawn	NWE	Scale	1" = 10'	
Approved	<div style="text-align: center; font-size: 2em; font-weight: bold;">C-2</div>			
Project No.				21-090-10
File Name				21-090-10 CIVIL
		Sheet No.		

NOTES:

1. THE PROPERTY OWNER(S) OF 470 BOSTON POST ROAD SHALL WORK WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION TO ACHIEVE THEIR ACCEPTANCE AND APPROVAL TO RELINQUISH THEIR EXISTING STATE OF CONNECTICUT 20' DRAINAGE EASEMENT TO THE LAND OWNER(S) PRIOR TO ANY WORK WITHIN SAID EXISTING EASEMENT. THE LAND OWNER(S) SHALL ACCEPT ALL RESPONSIBILITIES OF THE DRAINAGE SYSTEM, FROM THE STREET LINE TO THE OUTLET, AND ALL RELATED MAINTENANCE THEREOF UPON THE RELINQUISHMENT OF THE EASEMENT.
2. THE PROPERTY OWNER(S) OF 470 BOSTON POST ROAD AND 480 BOSTON POST ROAD SHALL ACKNOWLEDGE THE LOCATIONS OF THE PROPOSED UTILITIES WHICH ARE SLATED TO EXIST IN THE CORRIDOR BETWEEN THE TWO BUILDINGS. THE OWNERS SHALL RECOGNIZE THE CONFINES OF THE SPACE RELATIVE TO THE UTILITIES AND SHALL AGREE TO MAINTAIN SAID UTILITIES IN PROPER WORKING ORDER BY WHATEVER MEANS NECESSARY WHILE, MAINTAINING THE STRUCTURAL INTEGRITY OF BOTH BUILDINGS AND SITE INFRASTRUCTURE.
3. THE PROPERTY OWNER OF 470 BOSTON POST ROAD SHALL GRANT TO THE OWNER OF 480 BOSTON POST ROAD A 10' WIDE SANITARY SEWER EASEMENT FOR THE LOCATION AND MAINTENANCE OF THE 4"Ø FORCE MAIN DEPICTED HEREON. THE PROPERTY OWNER OF 480 BOSTON POST ROAD SHALL GRANT TO THE OWNER OF 470 BOSTON POST ROAD THE RIGHTS TO DRAIN THEIR EXTERIOR TRENCH DRAIN INTO THE 480 BOSTON POST ROAD STORM DRAINAGE SYSTEM AS DEPICTED HEREON.



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Revisions		
No.	Date	Description
1	07/01/22	ADDED ROOF LEADER AND PIPE
2	07/29/22	REV PER ARCHT. PLANS

Project Title

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT



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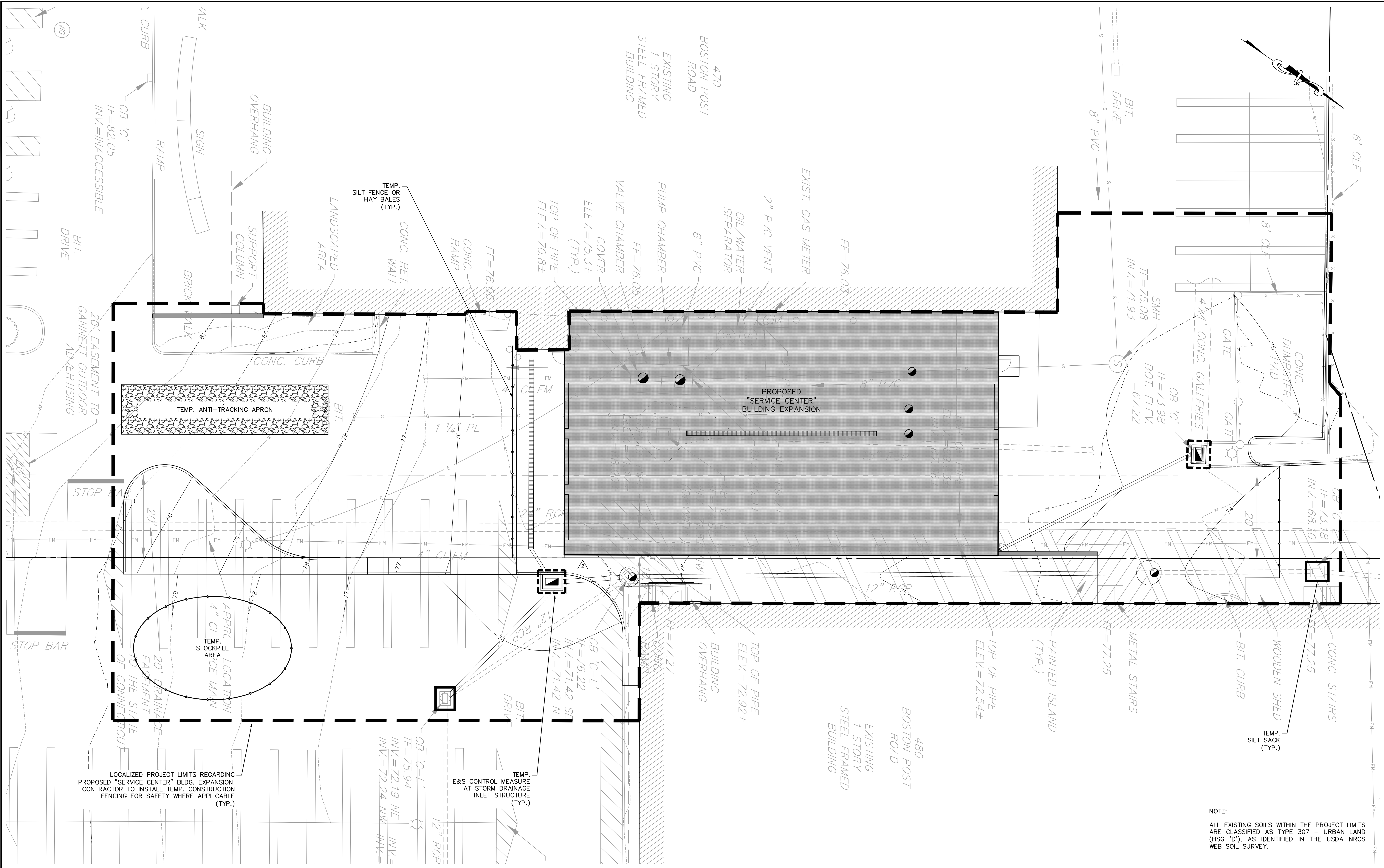
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Seal

Drawing Title

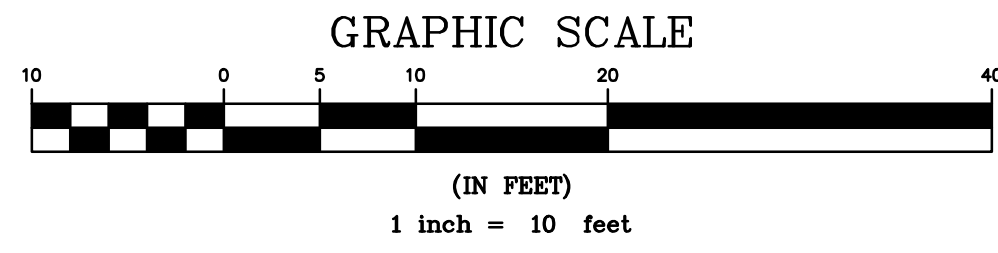
UTILITIES PLAN

Designed	RGP	Date	03/09/2022
Drawn	NWE	Scale	1" = 10'
Approved			
Project No.	21-090-10		
File Name	21-090-10 CIVIL		
C-3			Sheet No.



NOTE:
ALL EXISTING SOILS WITHIN THE PROJECT LIMITS
ARE CLASSIFIED AS TYPE 307 - URBAN LAND
(HSG 'D'), AS IDENTIFIED IN THE USDA NRCS
WEB SOIL SURVEY.

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Revisions		
No.	Date	Description
1	07/01/22	ADDED REV. DATE FOR CONTINUITY
2	07/29/22	REV PER ARCHT. PLANS

Project Title

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT

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Seal	Drawing Title SOIL EROSION AND SEDIMENTATION CONTROL PLAN	Designed	RGP	Date	03/09/2022
		Drawn	NWE	Scale	1" = 10'
		Approved			ES-1
		Project No. 21-090-10			
		21-090-10 CIVIL File Name			
			Sheet No.		

FILE NAME: I:\PROJECTS\2021\21-090-10 COLONIAL TOYOTA SERVICE CENTER 470 BOSTON POST ROAD\DRAWINGS\21-090-10 CIVIL.DWG

EROSION AND SEDIMENTATION CONTROL NARRATIVE

1. THE SUBJECT PROPERTY, KNOWN AS "COLONIAL TOYOTA", IS LOCATED AT 470 BOSTON POST ROAD IN MILFORD, CONNECTICUT.
2. THERE ARE NO WETLANDS OR WATERCOURSES LOCATED ON OR IN CLOSE PROXIMITY TO THE SUBJECT SITE.
3. CONSTRUCTION IS SCHEDULED TO COMMENCE AFTER APPROVALS. IT IS ANTICIPATED THAT CONSTRUCTION WILL BE COMPLETED IN LESS THAN ONE (1) YEAR FROM THE DATE OF COMMENCEMENT.

CONSTRUCTION SEQUENCE

THE CONTRACTOR SHALL DO THE FOLLOWING:

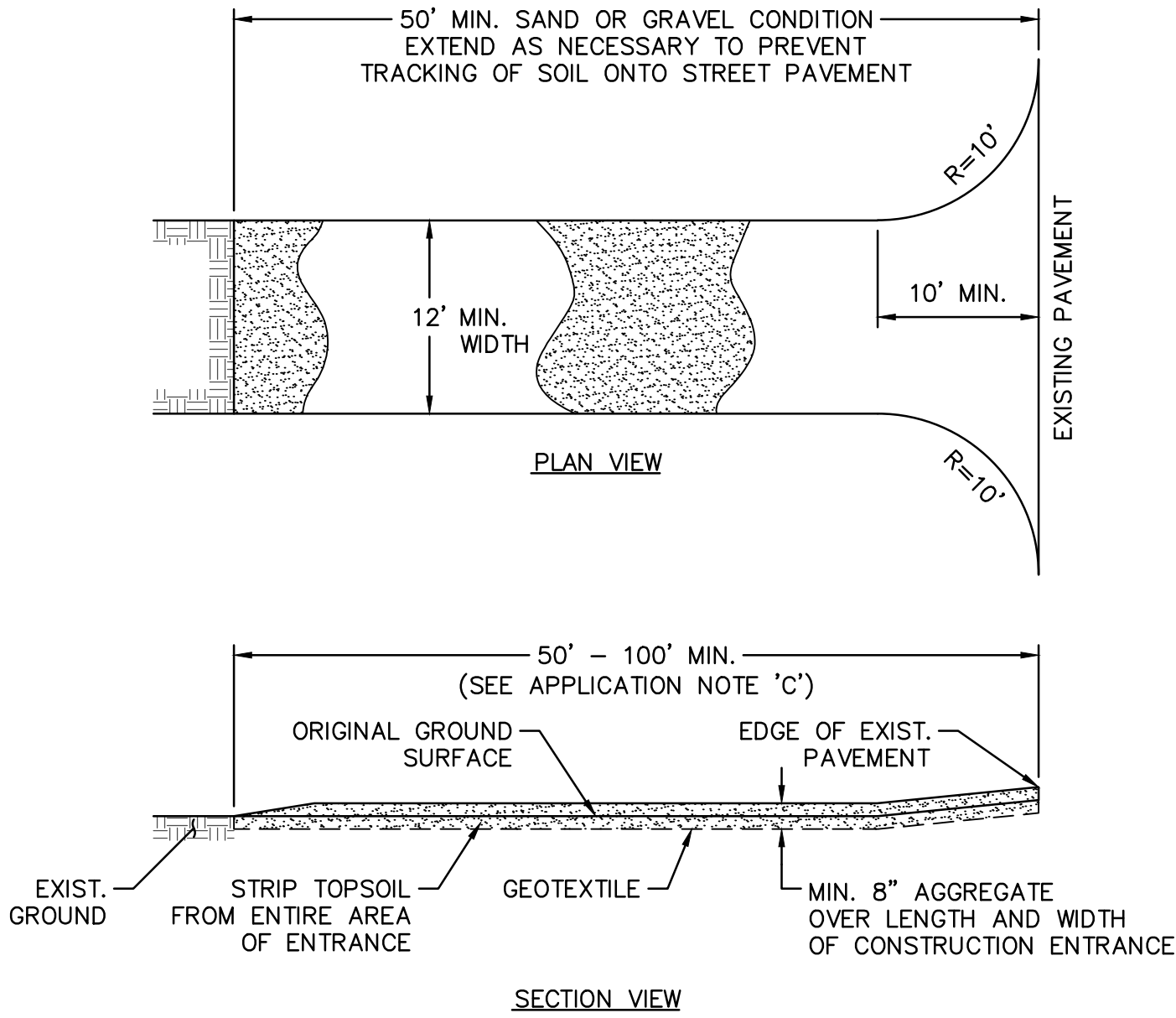
1. SEEK PERMITS, POST BONDS AND NOTIFY/COORDINATE WITH THE CITY OF MILFORD AND THE OWNER; HE SHALL PROVIDE HIS INTENDED DETAILED CONSTRUCTION SCHEDULE AT LEAST ONE MONTH PRIOR TO HIS INTENDED START DATE.
2. SECURE THE SITE WITH TEMPORARY CONSTRUCTION FENCING. ESTABLISH THE CONSTRUCTION OFFICE/TRAILER, IF APPLICABLE, AND MOBILIZE EQUIPMENT.
3. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT THE LOCATIONS INDICATED ON THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND IN ACCORDANCE WITH THE STATE OF CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL, LATEST EDITION.
4. RAZE/DEMOLISH EXISTING STRUCTURES AND FEATURES IN THE DESIGNATED AREAS AS REQUIRED FOR CONSTRUCTION OF THE NEW WORK. PROPERLY DISPOSE OF THE DEMOLISHED MATERIALS.
5. COORDINATE WITH THE UTILITY COMPANIES AND PERFORM UTILITY WORK AS APPLICABLE.
4. MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE PROJECT.
5. EXCAVATE FOR UTILITIES, STORM DRAINAGE, STRUCTURES, AND/OR FOUNDATIONS AS APPROPRIATE.
6. INSTALL UTILITIES SUCH AS STORM DRAINAGE, SANITARY SEWERS, AND ELECTRICAL CONDUITS. BACKFILL AND COMPACT TRENCHES.
7. CONSTRUCT CONCRETE FOUNDATIONS AND RELATED STRUCTURES. BACKFILL AND COMPACT WITH APPROPRIATE SOILS/STRUCTURAL FILL MATERIALS.
8. CONSTRUCT THE BUILDING AND ASSOCIATED BUILDING FEATURES.
9. PERFORM EARTHWORK AND SITE GRADING.
10. PLACE, GRADE, AND COMPACT GRANULAR FILL AND PROCESSED AGGREGATE MATERIAL FOR WALKWAYS, DRIVEWAYS, AND OTHER HARDSCAPE FEATURES.
11. PREPARE FORMS, PLACE REINFORCING, AND CONSTRUCT ALL CONCRETE HARDSCAPE FEATURES.
12. INSTALL CURBING AND CONSTRUCT/POUR BITUMINOUS CONCRETE PAVEMENT.
13. APPLY PAINTED PAVEMENT MARKINGS AND TRAFFIC/SITE SIGNAGE, AS APPLICABLE.
14. PLACE TOPSOIL AND SEED WHERE APPLICABLE.
15. INSTALL PLANTING AND GROUND COVER WHERE APPLICABLE.
16. REMOVE E&S MEASURES ONCE VEGETATION IS FULLY ESTABLISHED.

SOIL EROSION AND SEDIMENT CONTROL GUIDELINES

1. THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL".
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN E&S MEASURES IN ACCORDANCE WITH THIS PLAN SET AND THE STATE OF CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
3. THE CONTRACTOR SHALL ACT IMMEDIATELY TO CORRECT EROSION PROBLEMS AT THE SITE IF THEY OCCUR, AND SHALL PROVIDE ADDITIONAL CONTROL MEASURES AS NECESSARY.
4. DISTURBANCE OF LAND SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS SHALL BE RE-STABILIZED AS WORK IN THESE AREAS IS COMPLETED.
5. HAY BALES AND/OR SILT FENCE SHALL BE INSTALLED AROUND ALL DRAINAGE STRUCTURES AND ALONG THE TOE OF ALL SLOPES.
6. SOIL MATERIALS SHALL BE STOCKPILED AND SURROUNDED BY E&S CONTROL MEASURES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SWEEPING THE ROADS IN THE EVENT OF TRACKING OF SEDIMENT FROM THE SITE.
8. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY ON THE SITE.
9. CONTROL MEASURES SHALL REMAIN IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
10. DUST CONTROL MEASURES SHALL BE USED THROUGHOUT SITE DEVELOPMENT AND CONSTRUCTION OPERATIONS.
11. SEDIMENT REMOVED FROM CONTROL MEASURES SHALL BE DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND IN ACCORDANCE WITH STATE GUIDELINES.
12. SILT FENCE AND STAKED HAY BALES SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLAN AND IN ADDITIONAL LOCATIONS AS MAY BE NECESSARY AND/OR DIRECTED BY THE ENGINEER OR ENFORCEMENT OFFICER.
13. WHEREVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED.
14. THE OWNER'S SITE MANAGER IS ASSIGNED THE RESPONSIBILITY OF IMPLEMENTING THIS SOIL EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES ENFORCING THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND MONITORING ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT.

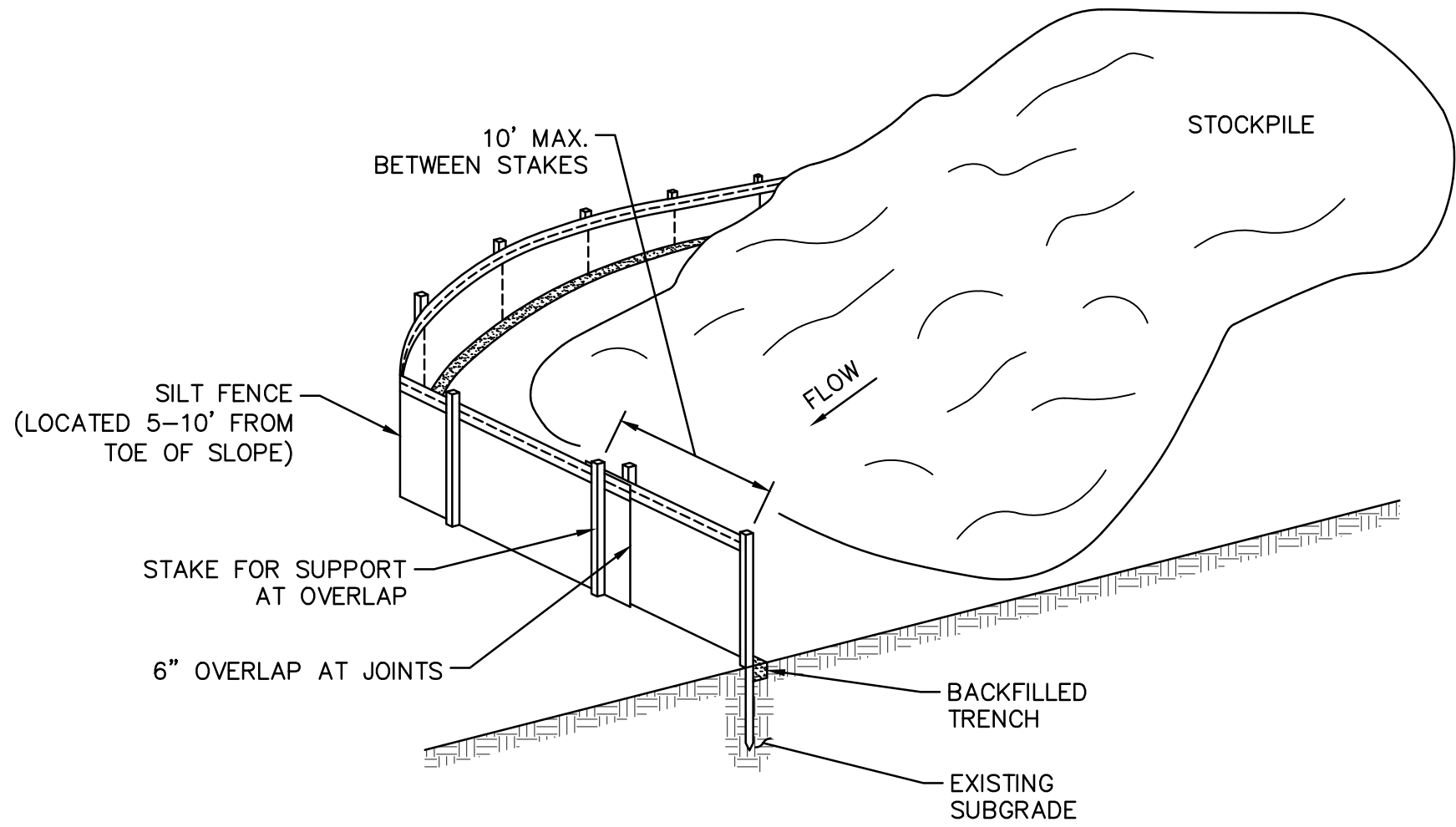
DEWATERING

IN THE EVENT THAT WATER IS ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING AND ADEQUATELY DEWATERING ALL OF HIS TRENCHING AND EXCAVATION ACTIVITIES, AS APPLICABLE. SAID RESPONSIBILITIES SHALL INCLUDE BUT NOT BE LIMITED TO USING AND MAINTAINING ENOUGH DEWATERING PUMPS FOR THE AREA OF OPEN EXCAVATIONS TO PRODUCE DRY CONDITIONS. THE USE OF 3/4" CRUSHED STONE MAY BE USED AT THE BOTTOM OF MOIST UTILITY TRENCHES. NO PIPES OR OTHER UTILITIES MAY BE INSTALLED IN WATER. THE DISCHARGE OF THE DEWATERING PUMPS MUST BE FILTERED THROUGH A FILTRATION/SEDIMENT TRAPPING DEVICE SUCH AS A "DIRTBAG", A PERFORATED 55 GALLON DRUM FILLED WITH CRUSHED STONE, SLOW OVERFLOW DUMPSTER, FRAC TANK, SEDIMENT TRAP OR THE LIKE. SAID DEVICES AND DEWATERING OPERATIONS MUST BE OBSERVED AND APPROVED BY THE ENFORCEMENT OFFICER. IF DEEMED INSUFFICIENT, ADDITIONAL MEASURES SHALL BE IMPLEMENTED.



PLACEMENT & CONSTRUCTION OF A STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

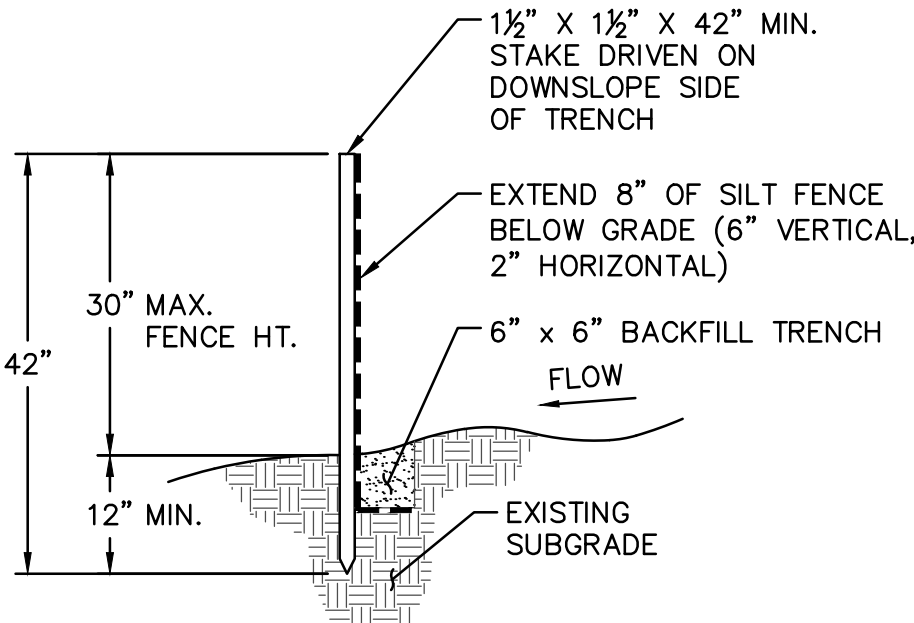


PLACEMENT & CONSTRUCTION OF SILT FENCE

N.T.S.

SILT FENCE INSTALLATION:

1. LOCATE AS NECESSARY FOR APPLICATION (SEE PLANS).
2. EXCAVATE TRENCH A MINIMUM 6" DEEP BY 6" WIDE ON UPSLOPE SIDE OF FENCE. FOR SLOPES, EXTEND TRENCH UPSLOPE AT BOTH ENDS OF THE FENCE TO PREVENT WATER FROM RUNNING AROUND. ENSURE CATCH BASINS IN DEPRESSIONS, CUTTING FABRIC ON THE BOTTOM CORNERS 4"± TO ALLOW FABRIC TO LAY FLAT AROUND CORNER.
3. DRIVE HARDWOOD STAKES (1 1/2" X 1 1/2" X 42" MIN.) ON DOWNSLOPE SIDE OF TRENCH AT A MAXIMUM SPACING OF 10', OR CLOSER WHEN CONCENTRATED FLOWS ARE ANTICIPATED.
4. STAPLE OR SECURE FENCE TO STAKES PER MANUFACTURER'S INSTRUCTIONS SUCH THAT AT LEAST 8" OF FABRIC LAYS WITHIN TRENCH. IN THE ABSENCE OF MANUFACTURER'S INSTRUCTION'S, SPACE WIRE STAPLES 4" APART ALTERING PARALLEL AND PERPENDICULAR TO THE AXIS OF THE STAPLE.
5. PLACE FABRIC JOINTS AT STAKES WITH A 6" OVERLAP OF FABRIC.
6. BACKFILL AND COMPACT TRENCH.



SILT FENCE

N.T.S.

CONSTRUCTION ENTRANCE NOTES:

DEFINITION:

AN ENTRANCE TO THE SITE SPECIFICALLY DESIGNED TO REDUCE THE AMOUNT OF SEDIMENT TRACKED OFF-SITE BY VEHICLES.

APPLICATION:

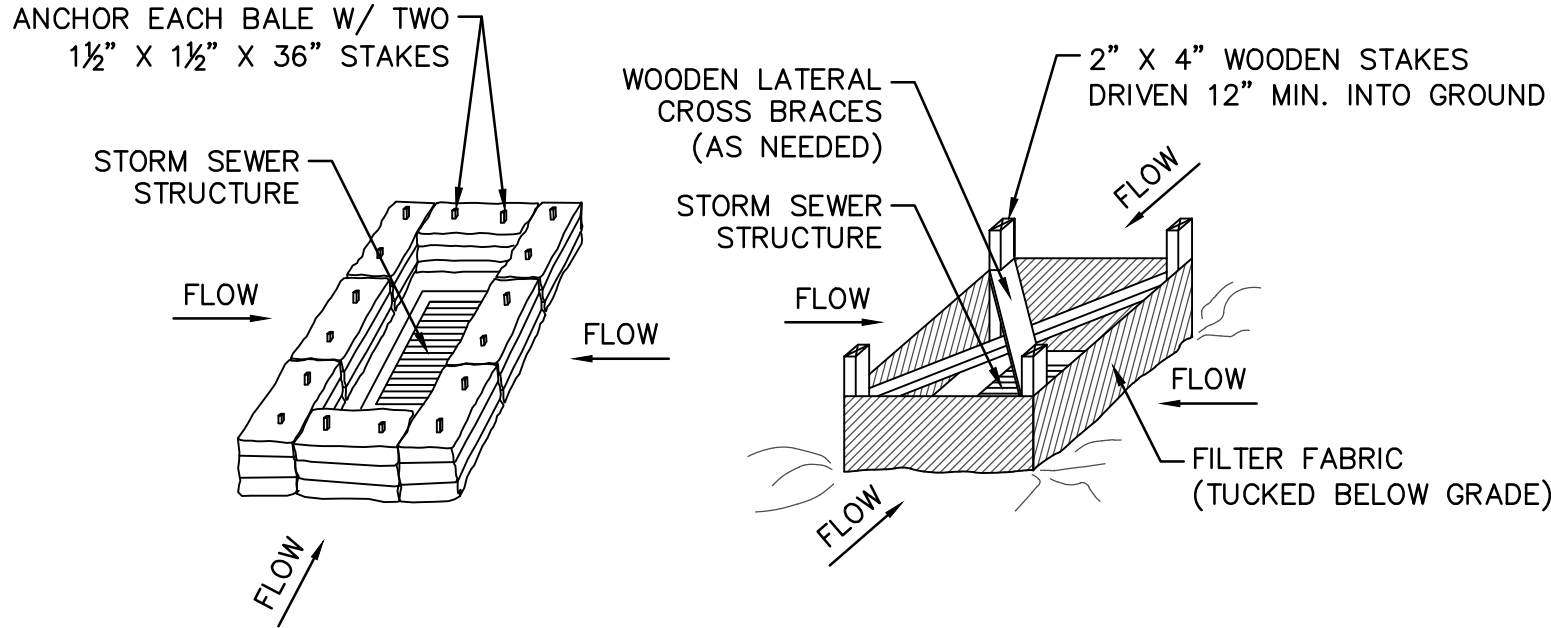
- A. LOCATED WHERE CONSTRUCTION VEHICLES ENTER AND LEAVE WORK SITE ONTO PUBLIC R.O.W.
- B. REDUCES BUT MAY NOT ELIMINATE NEED FOR STREET SWEEPING.
- C. FOR SANDY OR GRAVELLY SOIL ON SITE, MINIMUM LENGTH IS 50'. FOR SILTY OR CLAY SOILS ON SITE, MINIMUM LENGTH IS 100'.
- D. PLAN TO MAKE STONE AVAILABLE FOR MAINTENANCE OF ENTRANCE.

INSTALLATION:

1. CLEAR ENTRANCE OF ALL VEGETATION AND EXTRANEOUS MATERIALS AND STRIP EXISTING TOPSOIL FROM CONSTRUCTION ENTRANCE.
2. AT POORLY DRAINED LOCATION INSTALL SUBSURFACE DRAINAGE, PROVIDE FOR SURFACE WATER CONVEYANCE UNDER ENTRANCE WITH CULVERTS AS NEEDED.
3. PLACE FILTER FABRIC UNDERLINER OVER FULL WIDTH AND LENGTH OF ENTRANCE AND COVER WITH CT DOT #3 (2") STONE TO A DEPTH OF NO LESS THAN 8".
4. AS NEEDED INSTALL WASH RACKS AND SEDIMENTATION FACILITIES FOR WASHING. WHEN MAJORITY OF MUD IS NOT REMOVED FROM VEHICLES TRAVELING OVER STONE, SEDIMENT SHOULD BE INTERCEPTED AND TRAPPED SO IT CAN BE REMOVED AND STABILIZED.

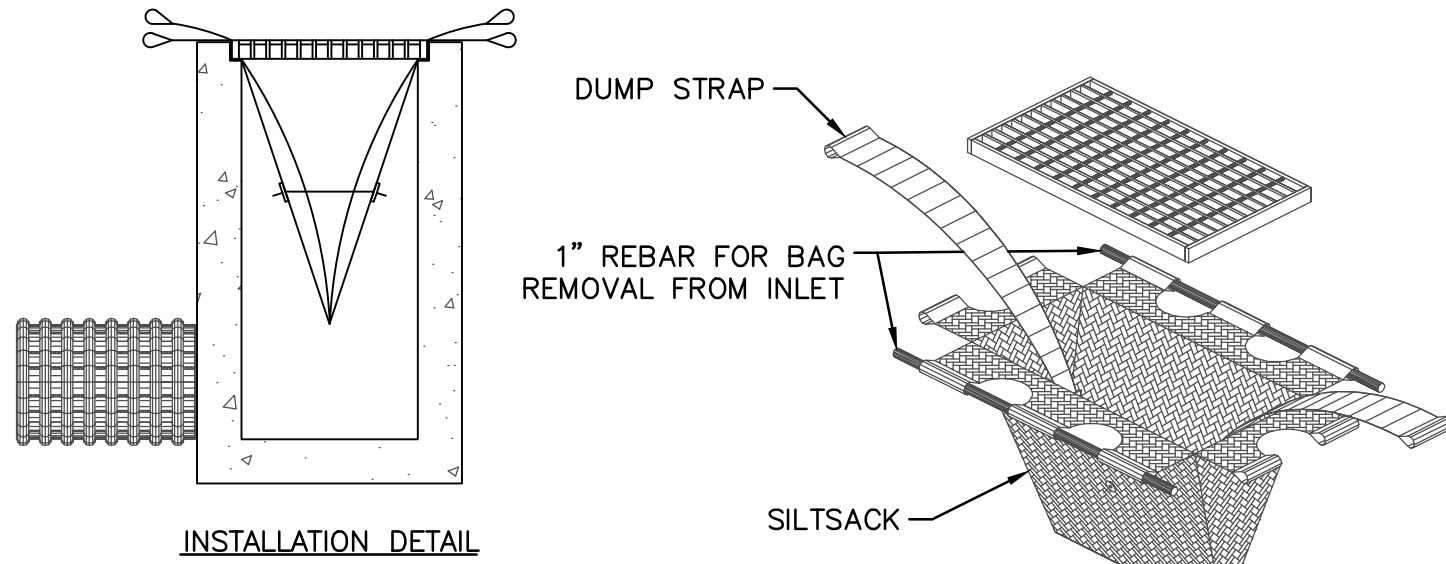
MAINTENANCE:

1. AS REQUIRED, APPLY ADDITIONAL STONE OR WASH AND REWORK EXISTING STONE.
2. REMOVE ANY SEDIMENT APPEARING ON ROADWAYS OR STORM DRAINS IMMEDIATELY.

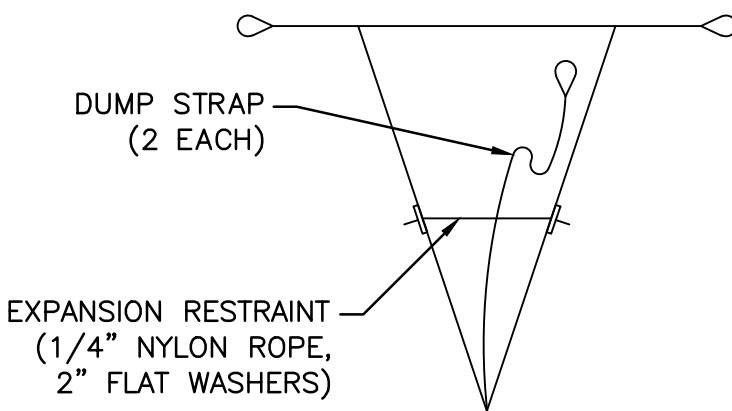


EROSION AND SEDIMENTATION CONTROL AT STORM DRAINAGE INLET STRUCTURE

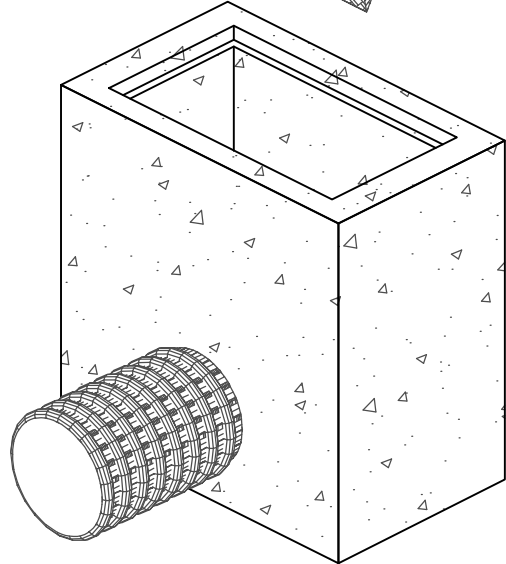
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INSTALLATION DETAIL

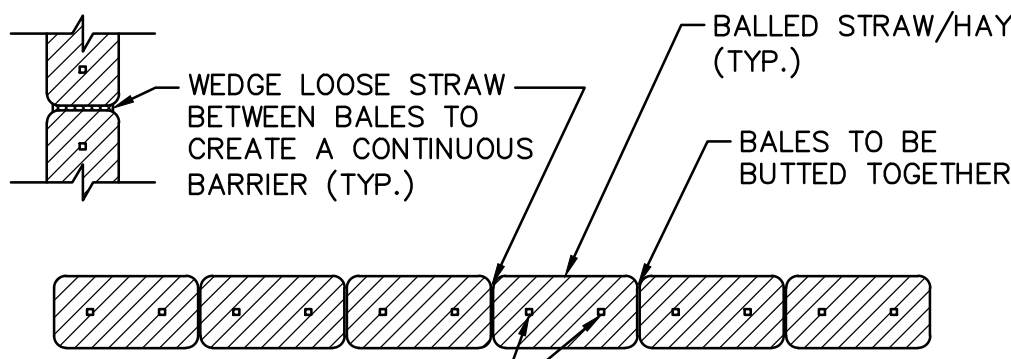


BAG DETAIL

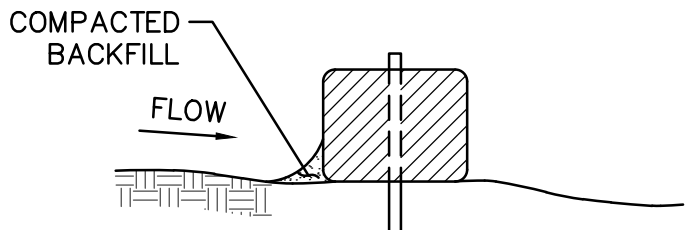


SILTSACK DETAIL

N.T.S.



PLAN VIEW



SECTION VIEW

HAY BALES

N.T.S.

HAY BALES INSTALLATION:

1. EXCAVATE TRENCH, ON CONTOUR, TO WIDTH OF BALE AND DEPTH OF 4".
2. LOCATE BALES AS SHOWN, TIGHTLY ABUTTING ONE ANOTHER.
3. EXTEND ENDS OF TRENCH UPSLOPE IN EACH DIRECTION SO THAT THE BOTTOM END OF BALES WILL BE HIGHER THAN THE TOP OF THE LOWEST BALES TO FORCE WATER OVER THE TOP OF THE STRUCTURE.
4. DRIVE AT LEAST 2 HARDWOOD STAKES (1" X 1" X 36") TO ANCHOR EACH BALE TO THE GROUND, TO MINIMUM DEPTH OF 6".
5. BACKFILL ON UPSLOPE SIDE OF BALE AND COMPACT TRENCH WITH A MINIMUM OF 4" OF SOIL.

Revisions			Project Title
No.	Date	Description	
△	07/01/22	ADDED REV. DATE FOR CONTINUITY	
△	07/29/22	ADDED REV. DATE FOR CONTINUITY	

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT

Westcott and Mapes, Inc.
Consulting Engineers since 1916
142 Temple Street, Suite 202
New Haven, CT 06510
Telephone: (203) 789-1260
E-mail: info@westcottandmapes.com

Seal

Drawing Title

SOIL EROSION AND
SEDIMENTATION CONTROL
NARRATIVE AND DETAILS


Designed	RGP	Date	03/09/2022
Drawn	NWE	Scale	AS NOTED
Approved	ES-2		
Project No.			
File Name			
21-090-10 CIVIL	Sheet No.		

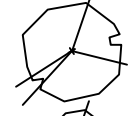
Plant List

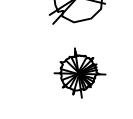
KEY	QTY	BOTANICAL/Common NAME	SIZE AT INSTALLATION
ARA	1	ACER x FREEMANI 'ARMSTRONG GOLD' / COLUMNAR RED MAPLE	3'-1/2" - 4" CAL. B#B *
BSHG	51	BUXUS SINICA INSULARIS/ KOREAN BOXWOOD 'WINTER GEM'	15"-18" HT. & SRPEAD *
CBFF	4	CARPINUS BETULUS 'FRANS FONTAINE'	8' HT. UNIFORM *
PT	5	PARTHENONCISUS TRICUSPIDATA 'FENWAY PARK' BOSTON IVY, VAR. 'FENWAY PARK'	2 GAL. W 4' STEM

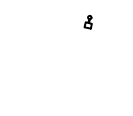
* NOTE: TREES SUBJECT TO AVAILABILITY AT TIME OF PLANTING.


LEGEND

- 

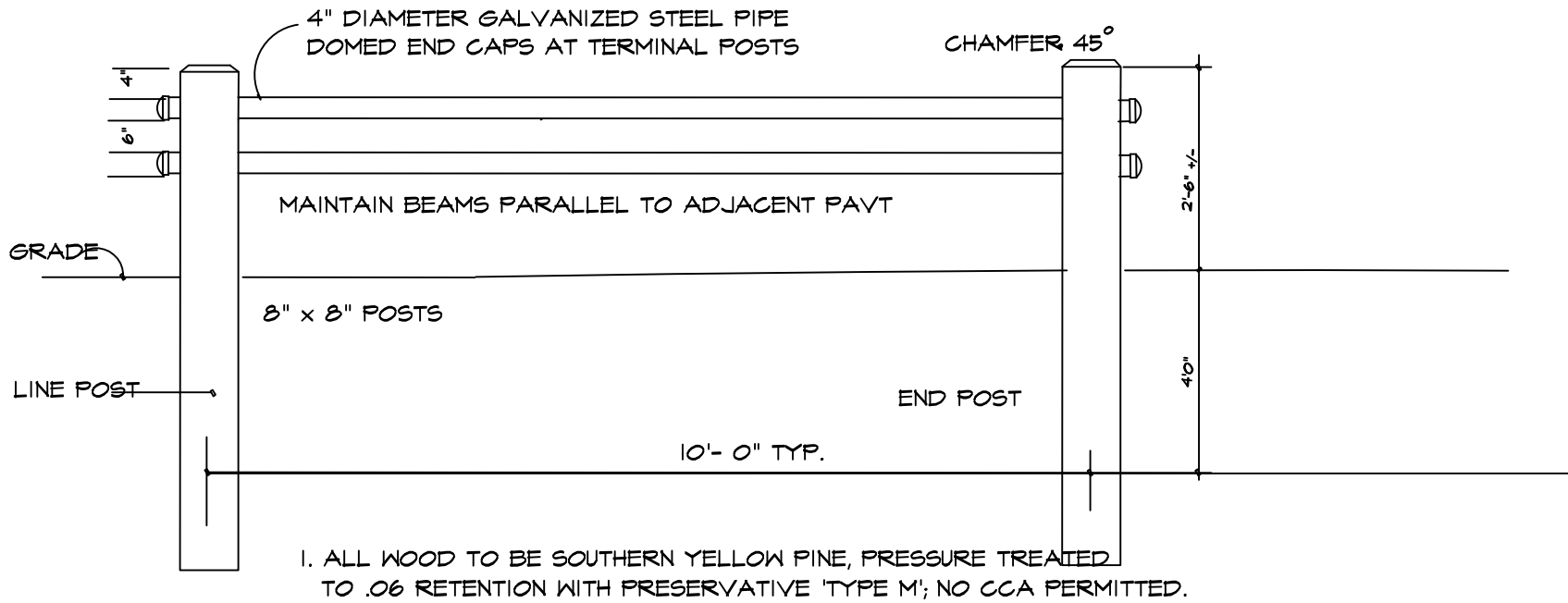
EXISTING DECIDUOUS TREES (PICTORIAL--NO INDIVIDUAL TREES LOCATED)
- 

NEW SHADE TREE
- 

SMALL TREE, I.E. DOGWOOD, SERVICEBERRY, ETC.
- 

NEW EVERGREEN TREE
- 

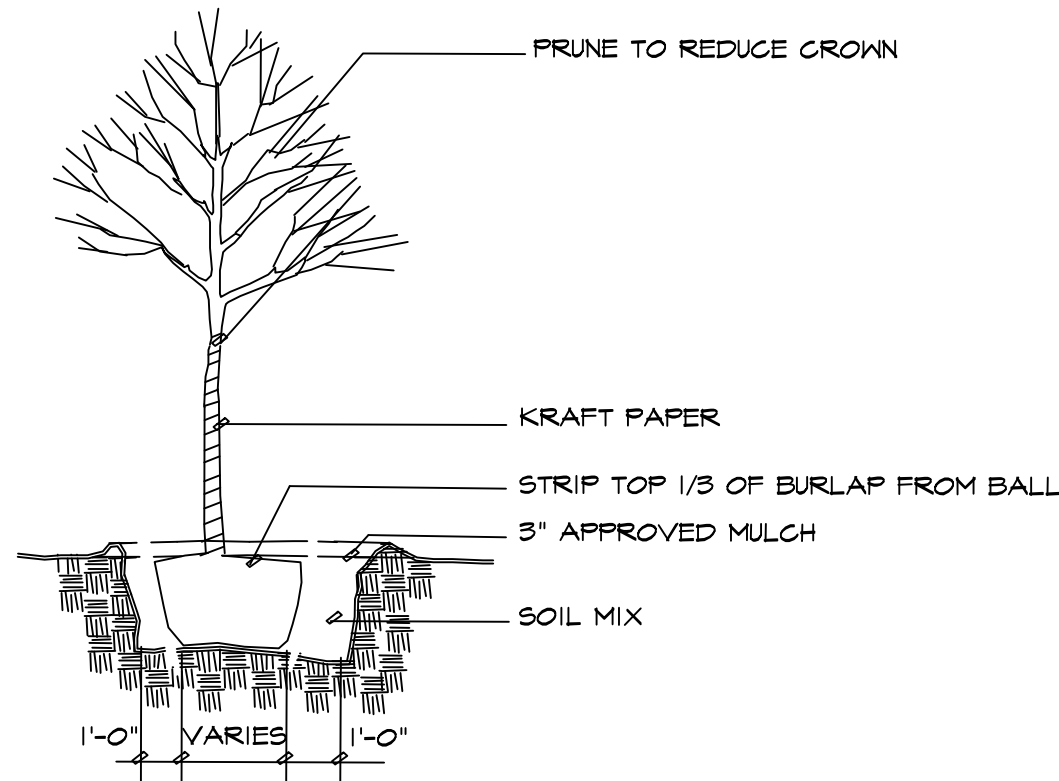
NEW SITE LIGHT



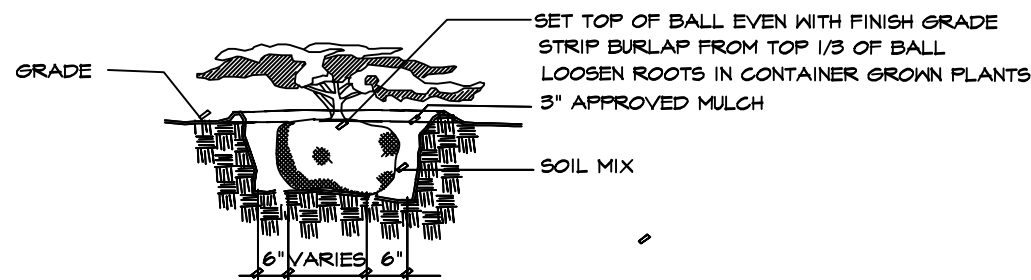
Post & Rail Barrier

PLANT NOTES

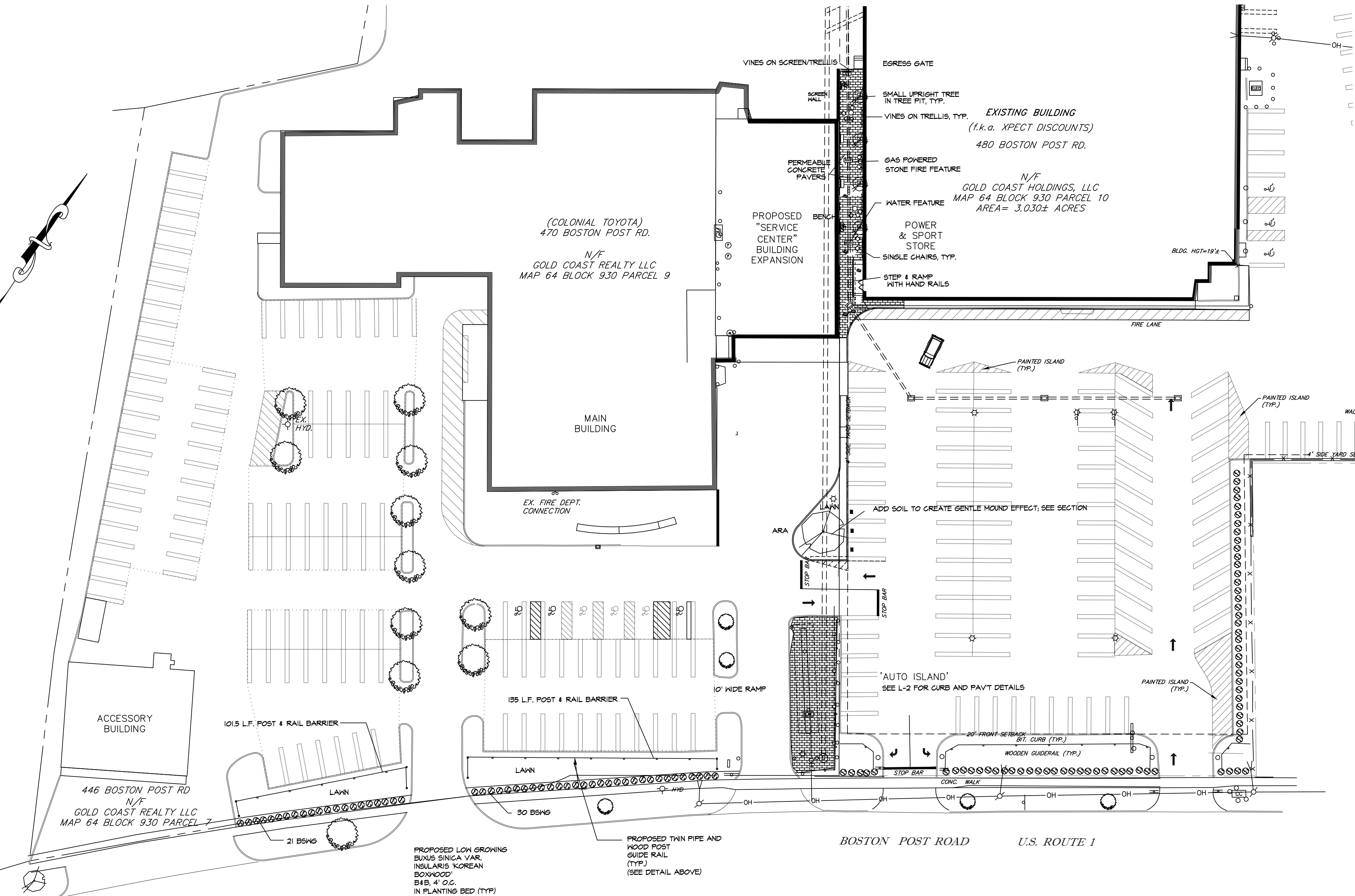
- Botanical names shall prevail over common names.
- Plants shall be nursery grown unless otherwise noted on these plans and shall conform to the standards of the American Association of Nurserymen in all ways.
- All trees are to be approved and tagged by the Landscape Architect. The Landscape Architect may reject any plant material if it does not conform to the specifications or if it shows signs of damage by handling or transport.
- No substitutions shall be made without the approval of the Landscape Architect.
- Quantities shown on the drawings take precedence over the plant list. Report all discrepancies immediately.
- All plant materials shall be balled and burlapped or container grown.
- Plants shall be planted in locations designated on the plan or as staked out by the Landscape Architect prior to planting.
- All plants are to be set so the top of root ball will be even with finished grade after any settlement occurs. Plants that settle must be re-set.
- Planting mix shall consist of 6 parts soil taken from the hole & one part peat moss. Add M-Roots in 1:100 watered in solution and mix in Terrasorb to mfgs. recommendation.
- All new plants shall be mulched with 3" of an approved shredded bark. No dyed woodchips.
- Maintenance shall begin immediately after each plant is planted and shall continue until acceptance. Plants shall be watered, remulched, weeded, pruned, sprayed, fertilized, cultivated, and otherwise maintained and protected. Defective work shall be corrected as soon as possible after it becomes apparent and weather and season permit. Contractor shall remove from the site excess soil and debris and repair any damage resulting from planting operations.
- All plant material shall be guaranteed to be alive and thriving one year after acceptance. All replacements shall be plants of the same kind and size specified. The cost shall be borne by the Landscape Contractor except for replacements resulting from loss or damage due to vandalism or acts of neglect on the parts of others.
- Topsoil shall be provided in plant beds and in lawn areas to a settled, compacted depth of not less than six inches. Soil shall be from a source approved by the Landscape Architect. Topsoil shall be free of roots, rubbish of all kinds, and stones larger than 1". The contractor shall submit test samples of the soil to an acceptable laboratory obtaining the soil's characteristics, organic content, pH, and nutrient status.
- Lawn areas shall be seeded with a seed mix approved by the Landscape Architect, sown at the rate of 4#/1000 s.f. and protected by a suitable mulch. Seeding shall be restricted to the periods of April and May in the spring, and from August 15 to October 15 in the Fall. Contractor is responsible to water, weed, fertilize, and mow seeded areas until an even stand of weed-free turf is established (usually after 3 cuttings).



TREE PLANTING

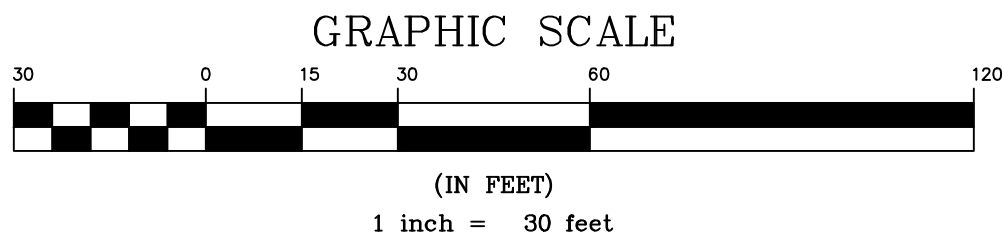


SHRUB PLANTING



Landscape Improvements, Planting

1" = 30 FEET



Revisions		
No.	Date	Description
1	8-18-22	REMOVE SERVICE CTR WINDOWS, DOORS

Project Title

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT

Stephen Wing, Landscape Architect, ASLA

26 Crown Street, Milford, CT 06460-6411
(203) 874-6474 swla@optonline.net

Seal

Drawing Title

Overall Landscape
Plan

Designed SSW

Drawn SSW

Approved SSW

Project No. 2022-1

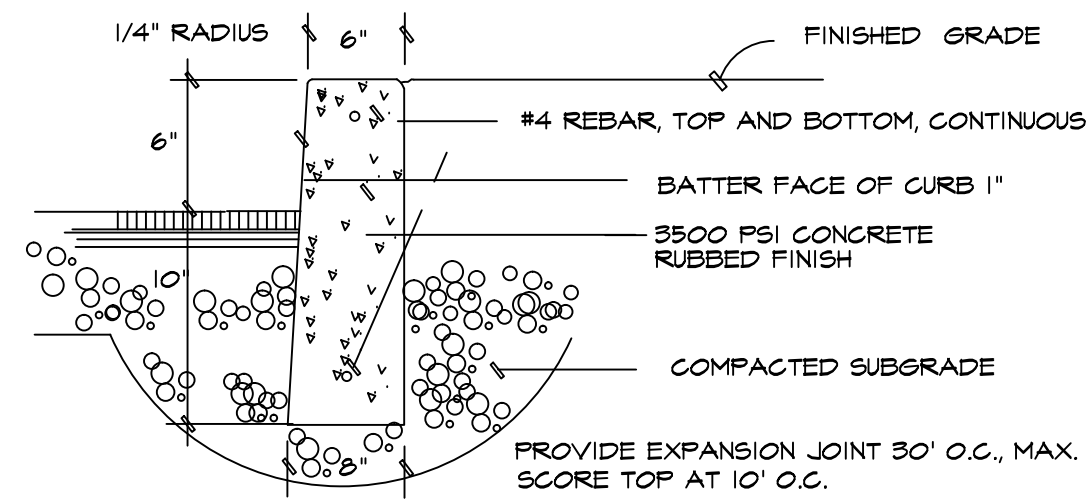
File Name TOYOTA

Date 7-1-22

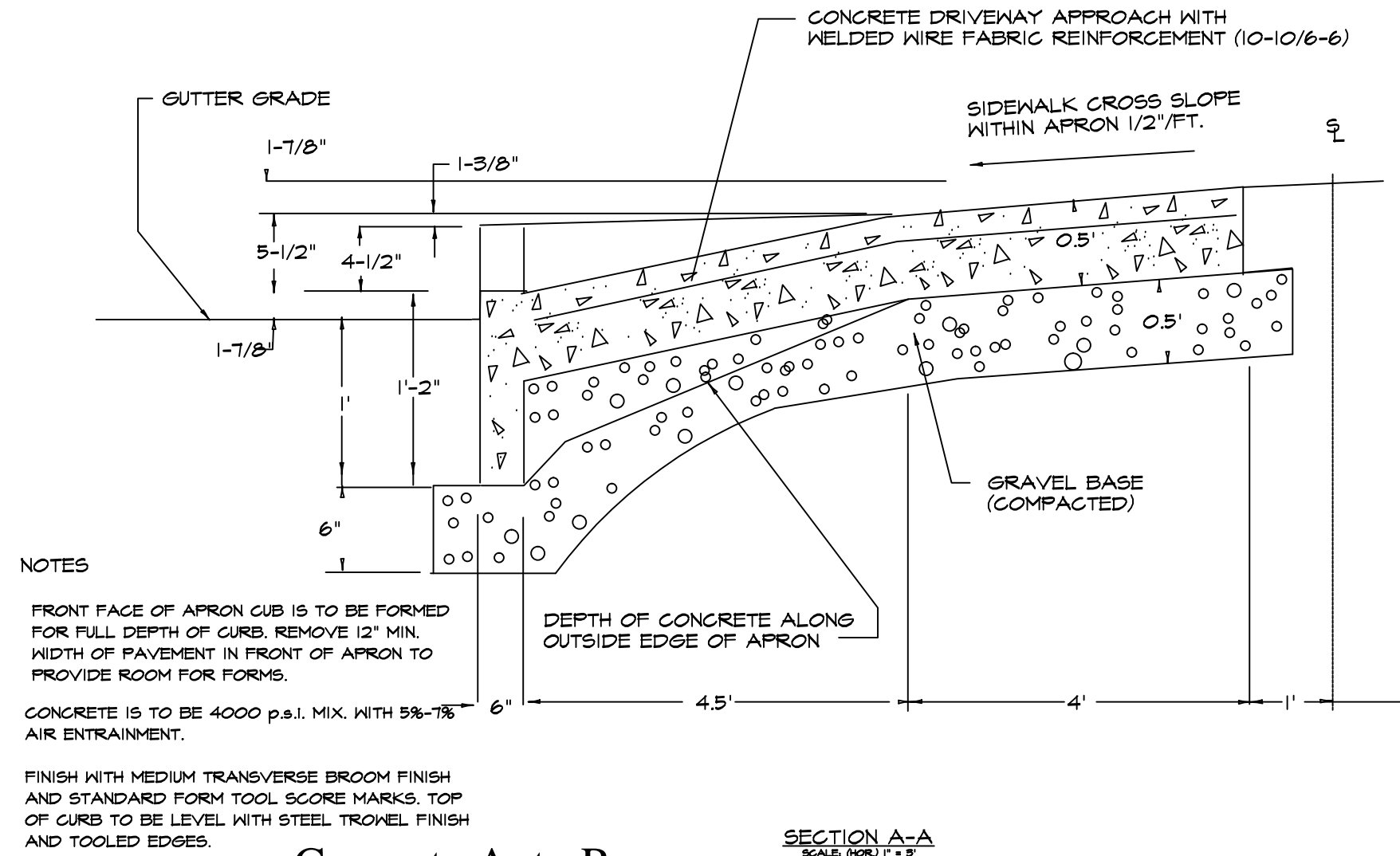
Scale 1" = 30'

Sheet No.

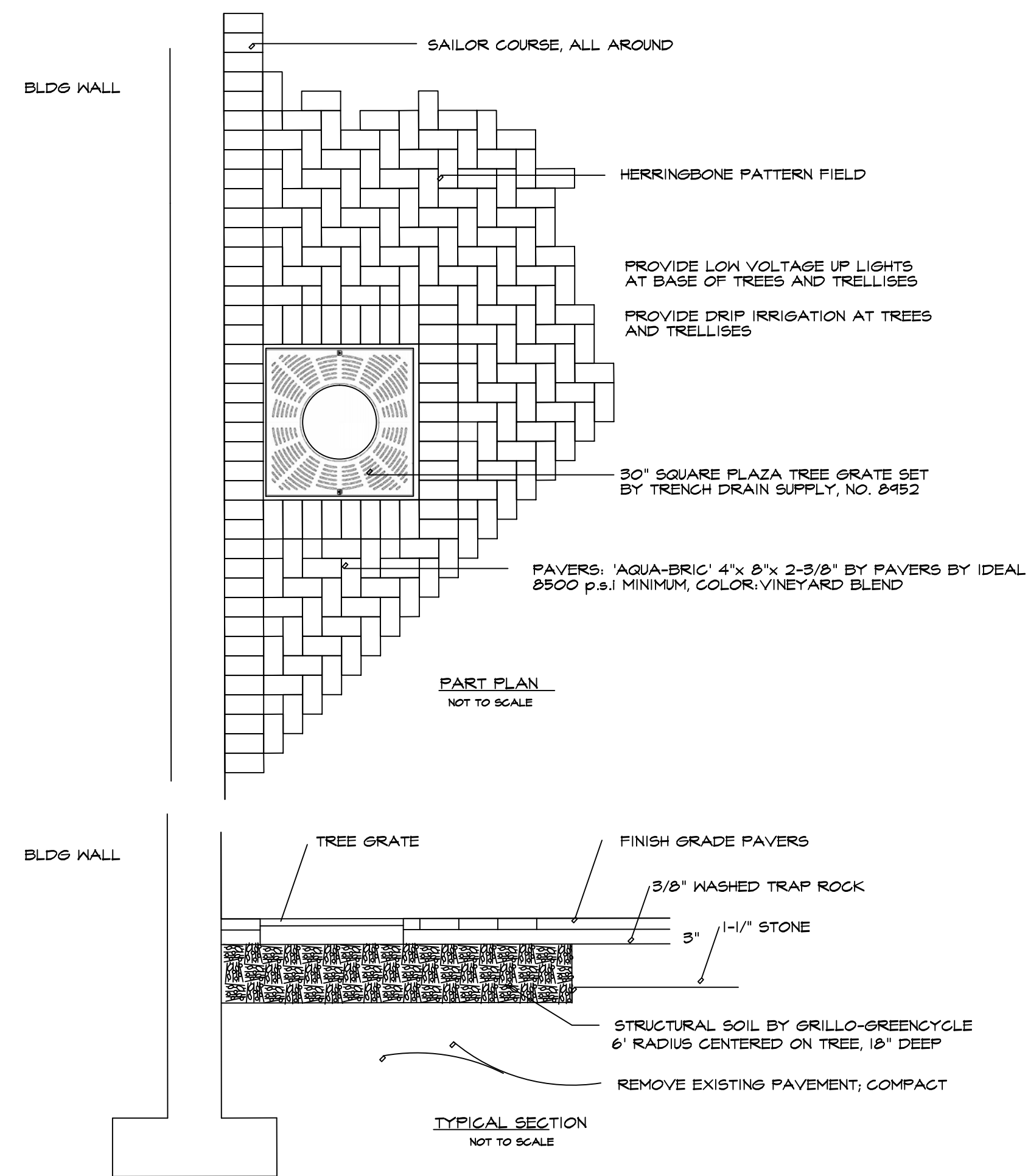
L-1



Concrete Curb

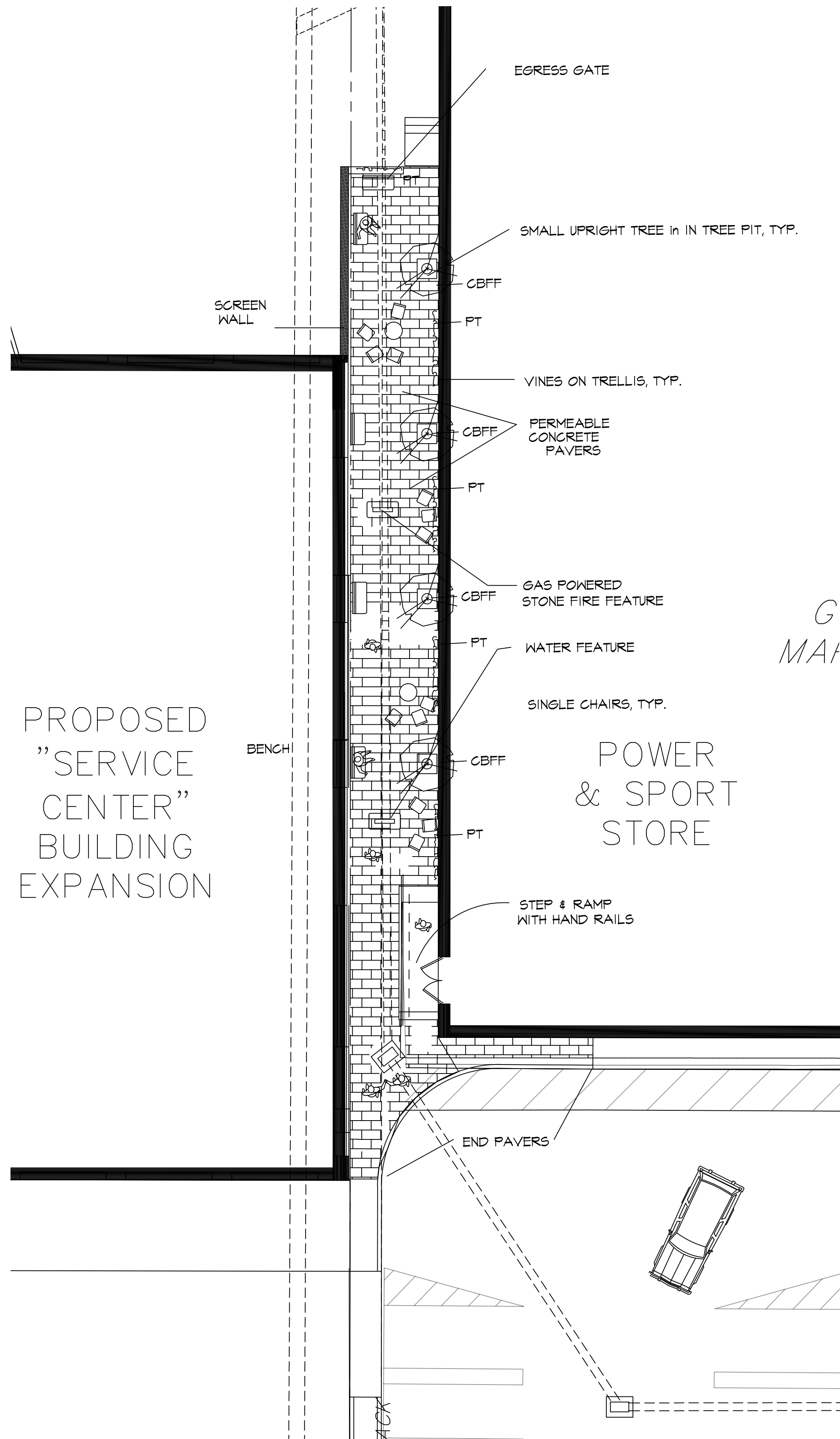


Concrete Auto Ramp



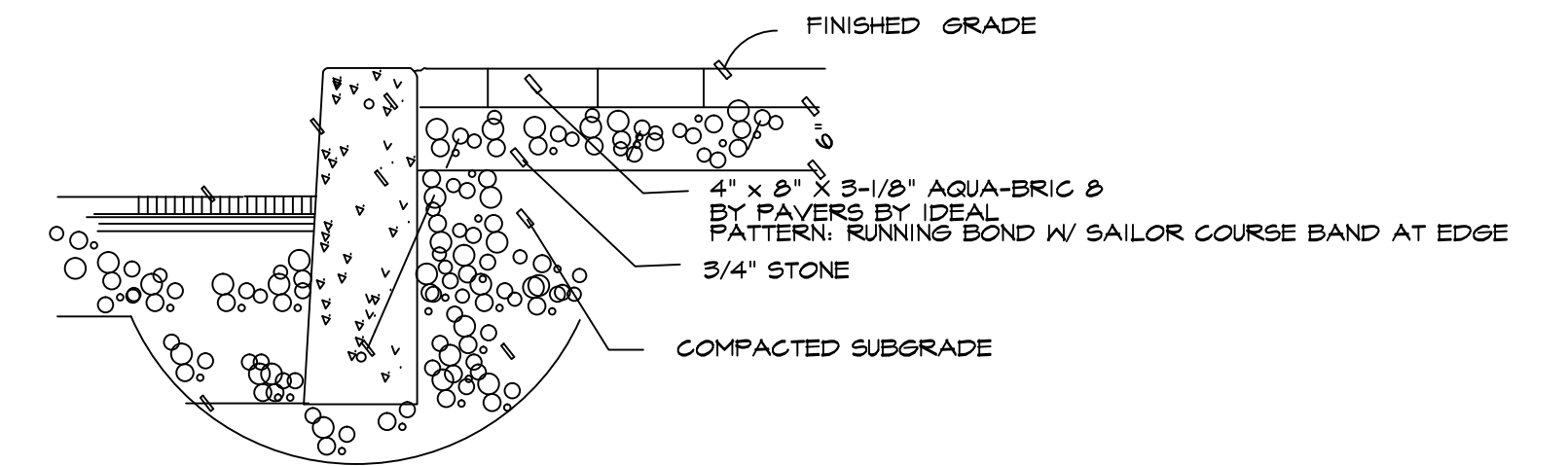
Courtyard Paving

PROPOSED
"SERVICE
CENTER"
BUILDING
EXPANSION



LEGEND

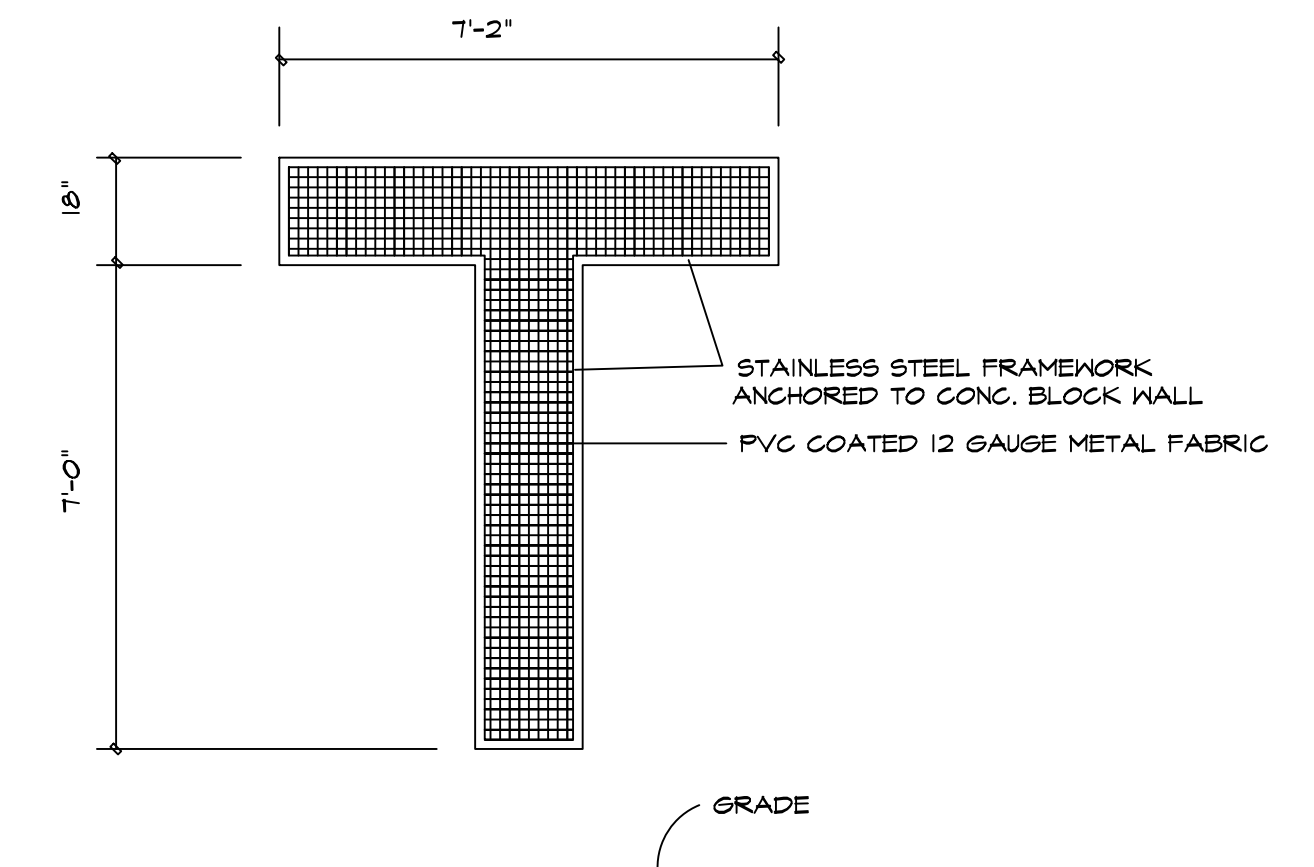
- EXISTING DECIDUOUS TREES (PICTORIAL--NO INDIVIDUAL TREES LOCATED)
- NEW SHADE TREE
- SMALL TREE, I.E. DOGWOOD, SERVICEBERRY, ETC.
- NEW EVERGREEN TREE



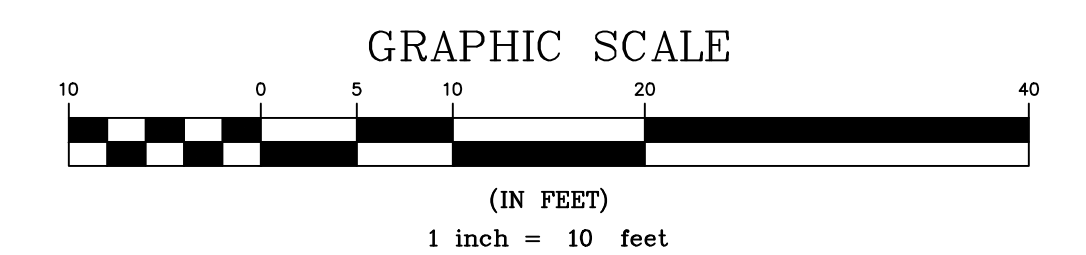
Permeable Pavers at Auto Island



Berm at new Landscape Island



"T" Trellis



Revisions		
No.	Date	Description
1	8-18-22	REMOVE SERVICE CTR WINDOWS, DOORS

Project Title

**COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION**

470 BOSTON POST ROAD
MILFORD, CONNECTICUT

Stephen Wing, Landscape Architect, ASLA

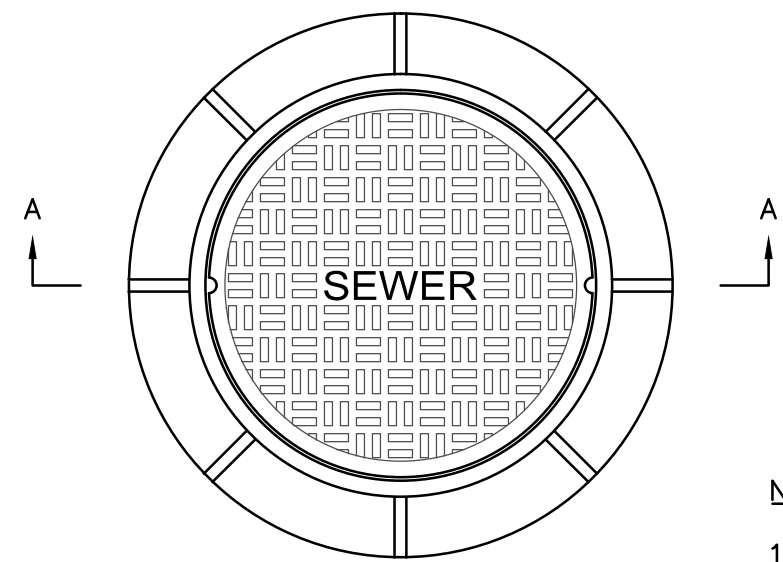
26 Crown Street, Milford, CT 06460-6411
(203) 874-6474 swla@optonline.net

Seal

Drawing Title

**Courtyard Plan
and Details**

Designed	SSW	Date	7-1-2022
Drawn	SSW	Scale	1" = 10'
Approved	SSW	L-2	
Project No.	2022-1		
File Name	TOYOTA		



PLAN VIEW

NOTES:

1. MANHOLE FRAME AND COVER SHALL BE CAMPBELL FOUNDRY PATTERN 1032, OR APPROVED EQUAL.
2. FOR STORM DRAIN MANHOLES, THE WORD "STORM" SHALL REPLACE THE WORD "SEWER" ON THE MANHOLE COVER.

STANDARD SANITARY SEWER AND STORM
MANHOLE FRAME AND COVER

N.T.S.



GENERAL FOUNDRIES HEAVY DUTY MANHOLE FRAME AND COVER DIMENSIONS

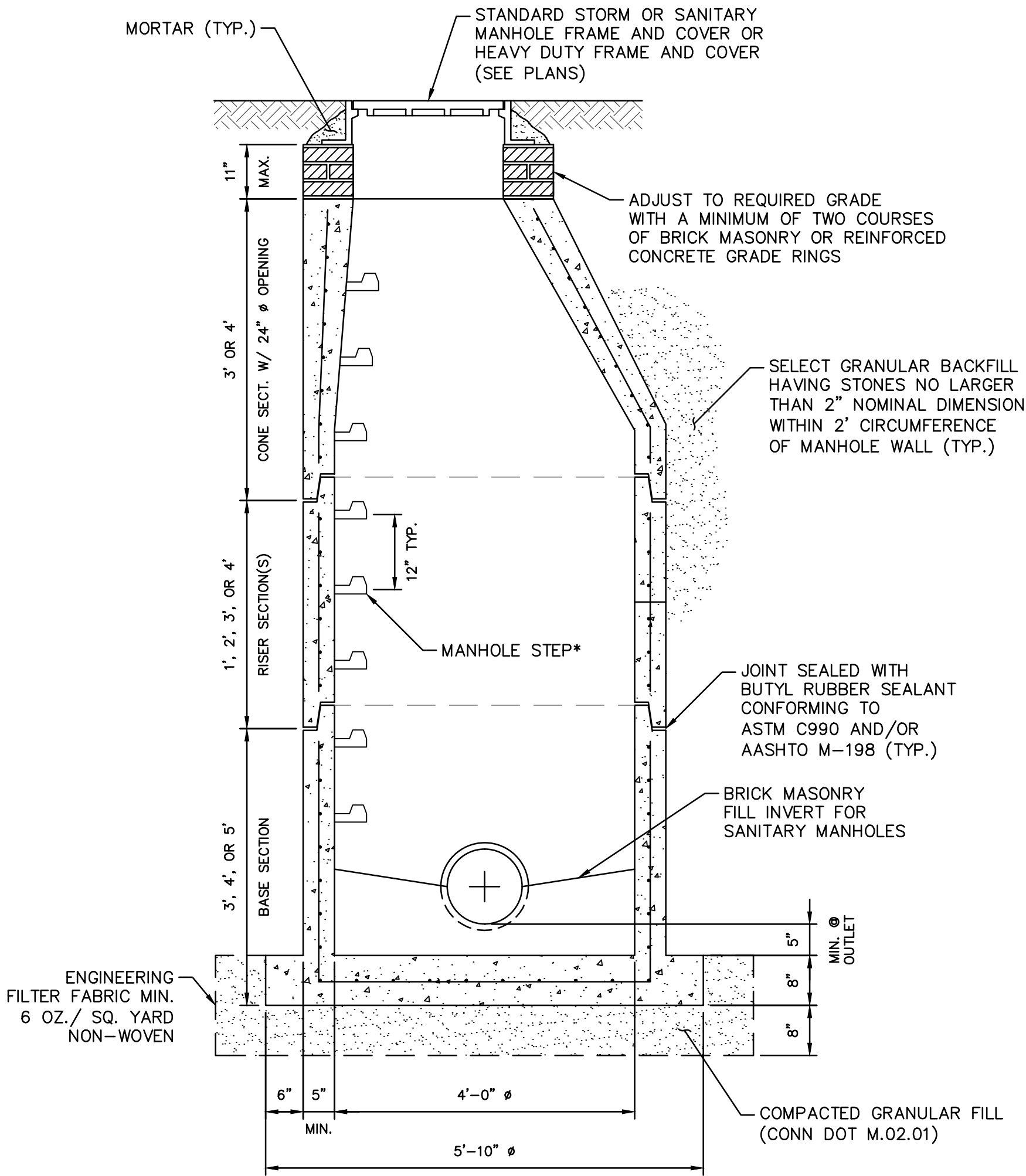
PRODUCT NO.	COVER DIAMETER	FRAME HEIGHT	CLEAR OPENING	FLANGE I.D.	FLANGE O.D.	COVER THICKNESS
12446	24"	4"	22-3/8"	24-1/4"	32"	1-3/8"
13646	37-3/4"	4"	33-1/2"	38"	48"	1-1/2"

NOTES:

1. HEAVY DUTY MANHOLE FRAME AND COVER SHALL BE AS MANUFACTURED BY GENERAL FOUNDRIES, OR APPROVED EQUAL.
2. REFER TO UTILITY PLAN FOR LOCATIONS AND TYPES OF HEAVY DUTY MANHOLE FRAMES AND COVERS.

HEAVY DUTY MANHOLE FRAME AND COVER

N.T.S.



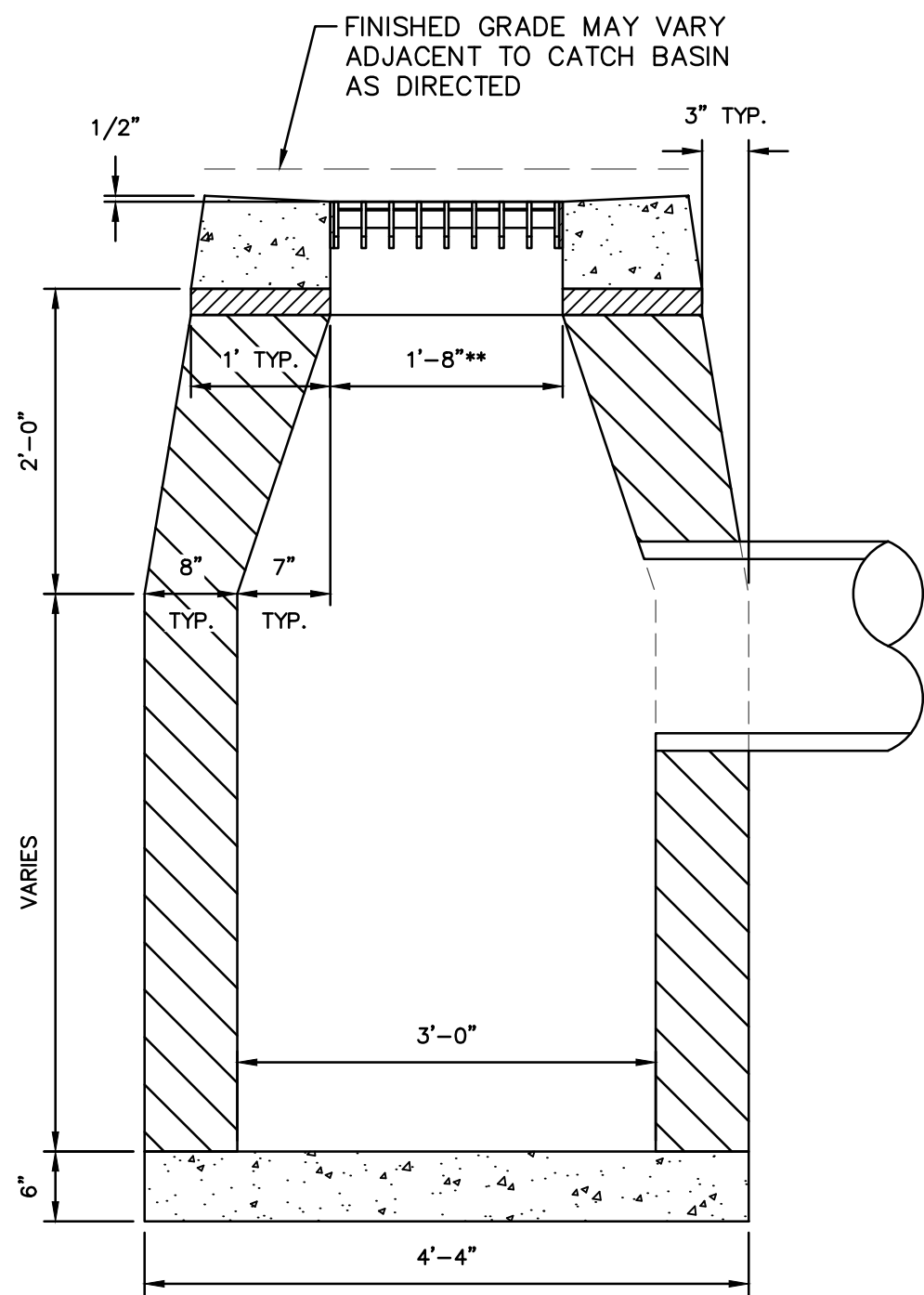
SECTION VIEW

NOTES:

1. CONCRETE - 5000 PSI - 28 DAYS.
2. MANHOLES SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C478.
3. MANHOLE STEPS SHALL BE COPOLYMER POLYPROPYLENE COATED STEEL CORE MANUFACTURED BY MA INDUSTRIES, INC., PEACHTREE CITY, GA.
4. INSTALL MANHOLE BASE ON 8" THICK BASE OF 3/4" CRUSHED STONE.
5. REINFORCING STEEL CONFORMS TO ASTM A185 WITH MINIMUM AREA AS 48" Ø - 0.12 SQ. IN./VERTICAL FOOT.
6. PRECAST MANHOLES SHALL BE AS MANUFACTURED BY CONNECTICUT PRECAST CORPORATION, MONROE, CONNECTICUT, OR APPROVED EQUAL.

MANHOLE

N.T.S.

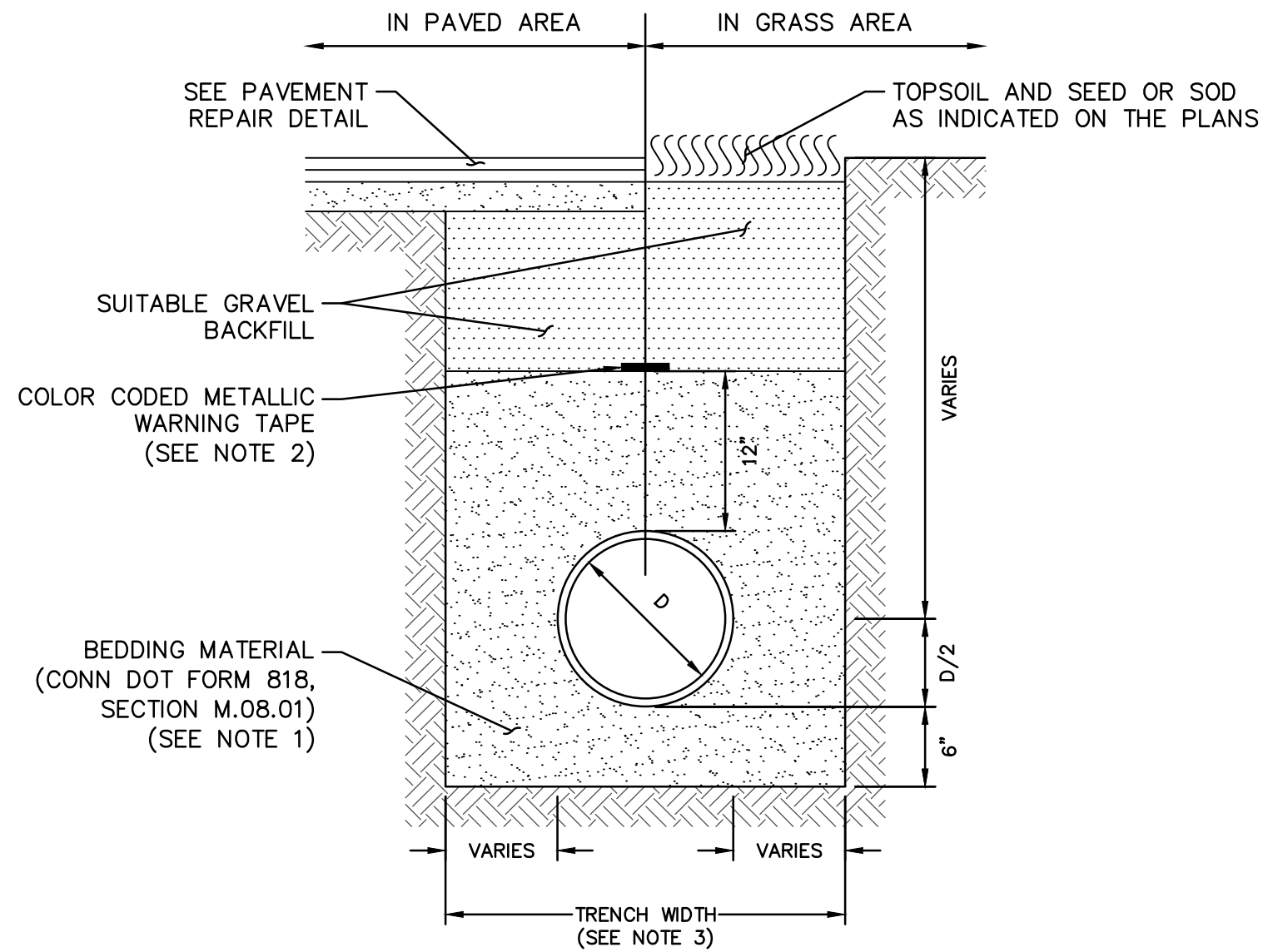


NOTES:

1. ALL FACES OF STRUCTURES IN CONTACT WITH CONCRETE PAVEMENT SHALL BE COVERED WITH A LAYER OF TAR PAPER OR APPROVED EQUAL. THE COST FOR THE PAPER SHALL BE INCLUDED IN THE BID PRICE FOR THE TYPE OF CATCH BASIN INSTALLED.
2. IF MASONRY UNITS ARE REQUIRED, THE BASIN SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE OVERALL DIMENSIONS SHOWN HERE AND SECTION 5.07 OF THE STATE OF CONNECTICUT'S STANDARD SPECIFICATIONS. CORBELLING SHALL BE PERMITTED TO A MAXIMUM OF 3". NO PROJECTION SHALL EXTEND INSIDE THE LIMITS NOTED BY **.
3. WALL THICKNESS OF ALL CB'S OVER 10' DEEP SHALL BE INCREASED TO 12" THICK. INSIDE DIMENSION SHALL REMAIN THE SAME. 12" THICKNESS WILL START AFTER THE FIRST 10'.
4. TO CONVEY SUBSURFACE DRAINAGE, OPENINGS SHALL BE FORMED IN THE FOUR WALLS AT OR IMMEDIATELY ABOVE THE BOTTOM OF THE PERVIOUS BACKFILL.
5. MINIMUM CONCRETE COMPRESSIVE STRENGTH OF F'c = 4,000 PSI (27,580 kPa) SHALL BE OBTAINED PRIOR TO SHIPPING.
6. LATEST STATE OF CONNECTICUT'S STANDARD SPECIFICATIONS AND SUPPLEMENTALS SHALL GOVERN.
7. SPACER MAY BE CMU OR PRECAST WITH REQUIRED REINFORCING (RECOMMENDED BY THE MANUFACTURER) AS NEEDED TO PROVIDE PROPER GRADE SHOWN ON PLANS.
8. TOP OF FRAME (TF) ELEVATION SHALL BE MEASURED IN THE CENTER OF GRATE AT GUTTER LINE.

CATCH BASIN

N.T.S.

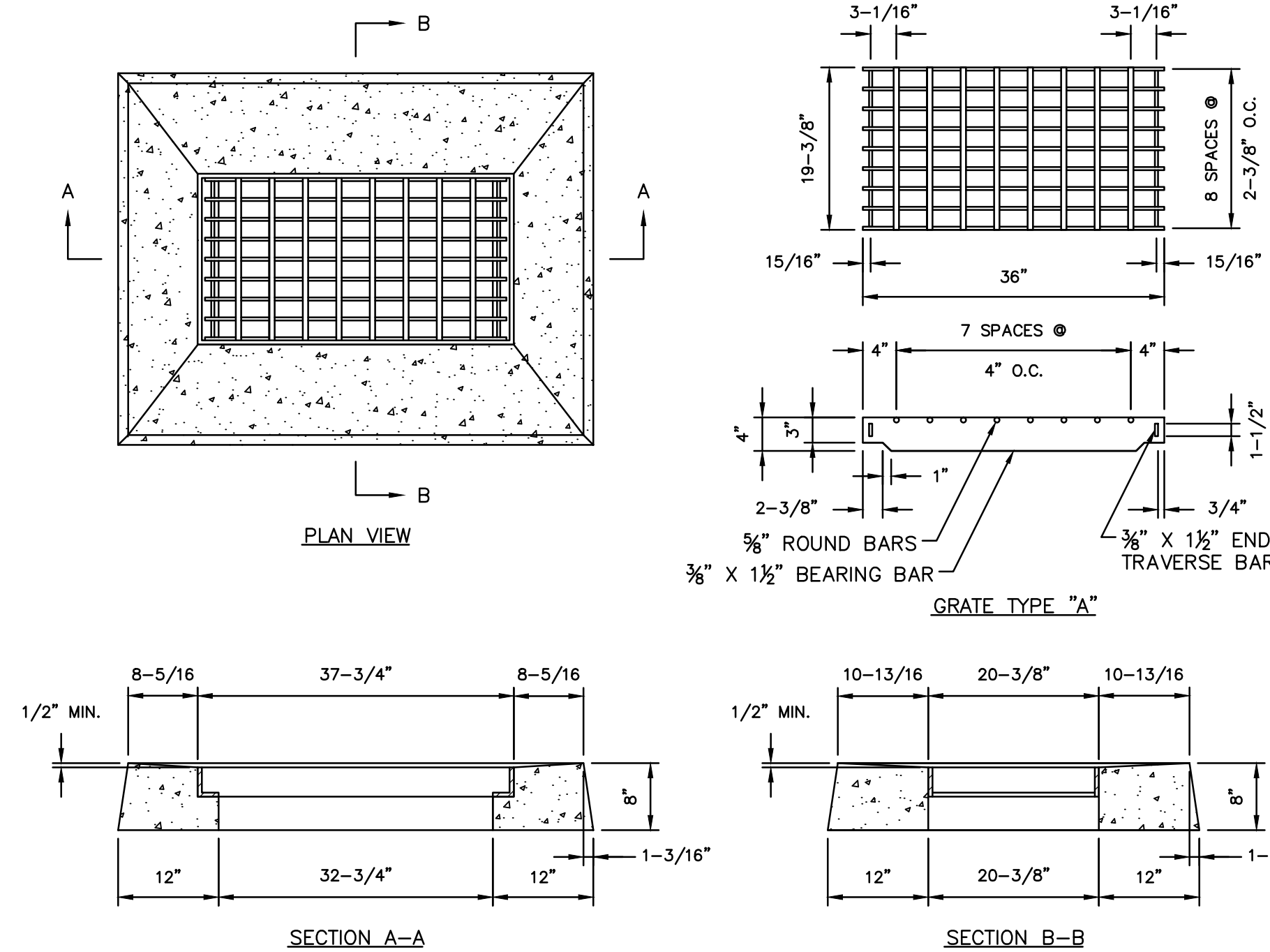


NOTES:

1. FILL MATERIALS SHALL BE COMPACTED TO 95% DRY DENSITY UNDER PAVED AREAS, SIDEWALKS AND OTHER STRUCTURES AND TO 90% DRY DENSITY (MIN.) UNDER UNPAVED AREAS.
2. COLOR OF METALLIC WARNING TAPE SHALL CONFORM TO THE FOLLOWING:
BLUE - WATER
GREEN - STORM AND SANITARY
RED - ELECTRICAL
ORANGE - COMMUNICATIONS
YELLOW - GAS
3. TRENCH WIDTH SHALL BE D+2' WHEN D IS LESS THAN 30" AND SHALL BE D+3' WHEN D IS GREATER THAN OR EQUAL TO 30" (D = NOMINAL PIPE DIAMETER).
4. ALL UTILITIES SHALL HAVE A MINIMUM OF 2'-0" OF COVER OR AS DIRECTED BY THE ENGINEER, UTILITY AGENCY, OR UNLESS OTHERWISE INDICATED.

TYPICAL UTILITY AND STORM SEWER TRENCH

N.T.S.



NOTES:

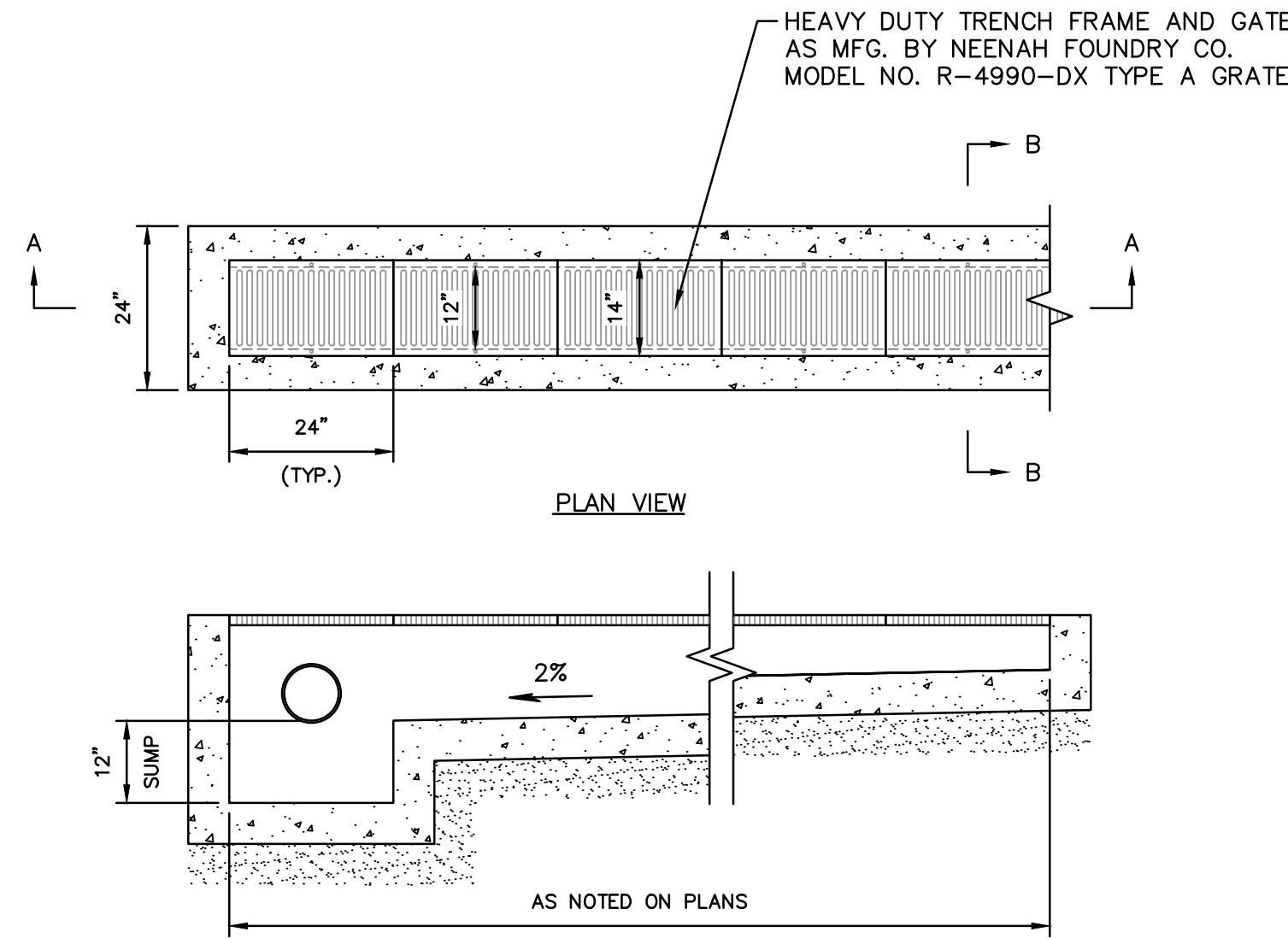
1. CATCH BASIN TOPS SHALL BE APPROVED PRECAST UNITS, FACTORY MANUFACTURED.
2. FRAMES AND GRATES SHALL BE GALVANIZED STEEL PER CONN DOT SPECIFICATIONS.

TYPE "C-L" CATCH BASIN TOP

N.T.S.

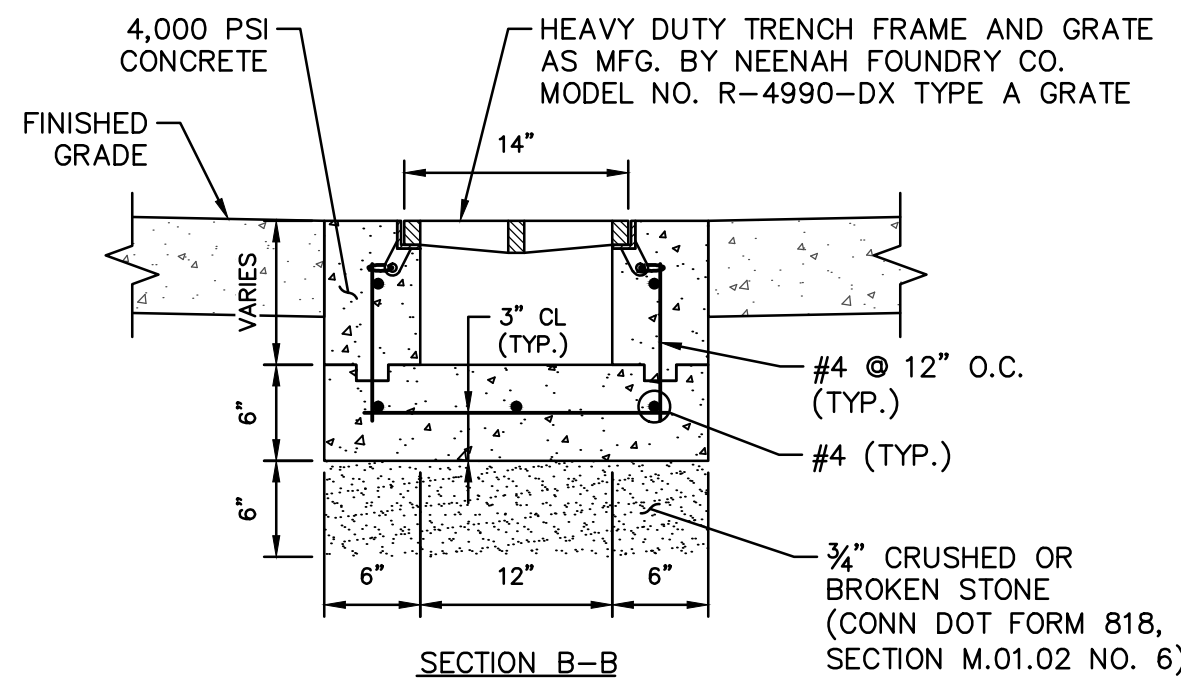
Revisions			Project Title
No.	Date	Description	
1	07/01/22	ADDED REV. DATE FOR CONTINUITY	COLONIAL TOYOTA "SERVICE CENTER" BUILDING EXPANSION 470 BOSTON POST ROAD MILFORD, CONNECTICUT
2	07/29/22	ADDED REV. DATE FOR CONTINUITY	

Seal		Drawing Title		Designed		Date	
		CONSTRUCTION DETAILS		RGP		03/09/2022	
				NWE		AS NOTED	
				21-090-10			
				21-090-10 CIVIL			
				CD-1			
						Sheet No.	



PLAN VIEW

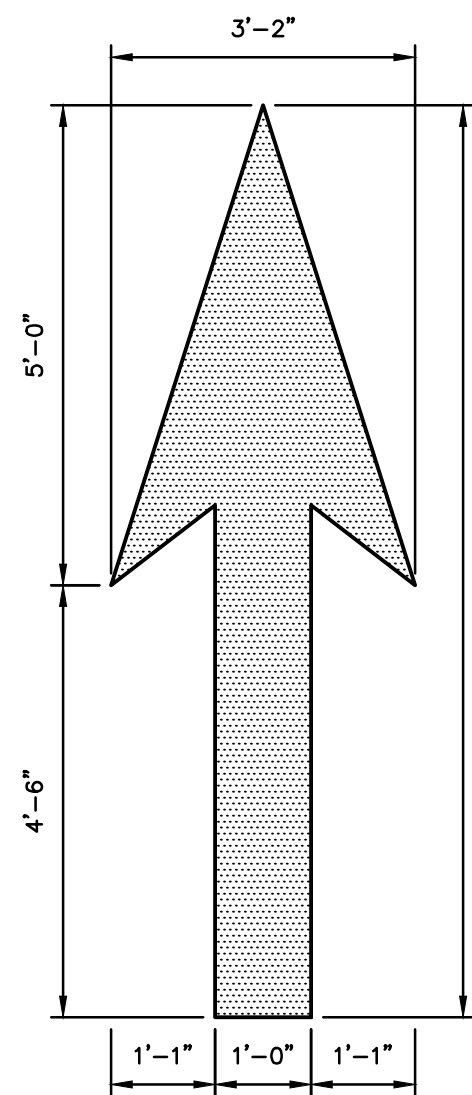
SECTION A-A



SECTION B-B

TRENCH DRAIN

N.T.S.

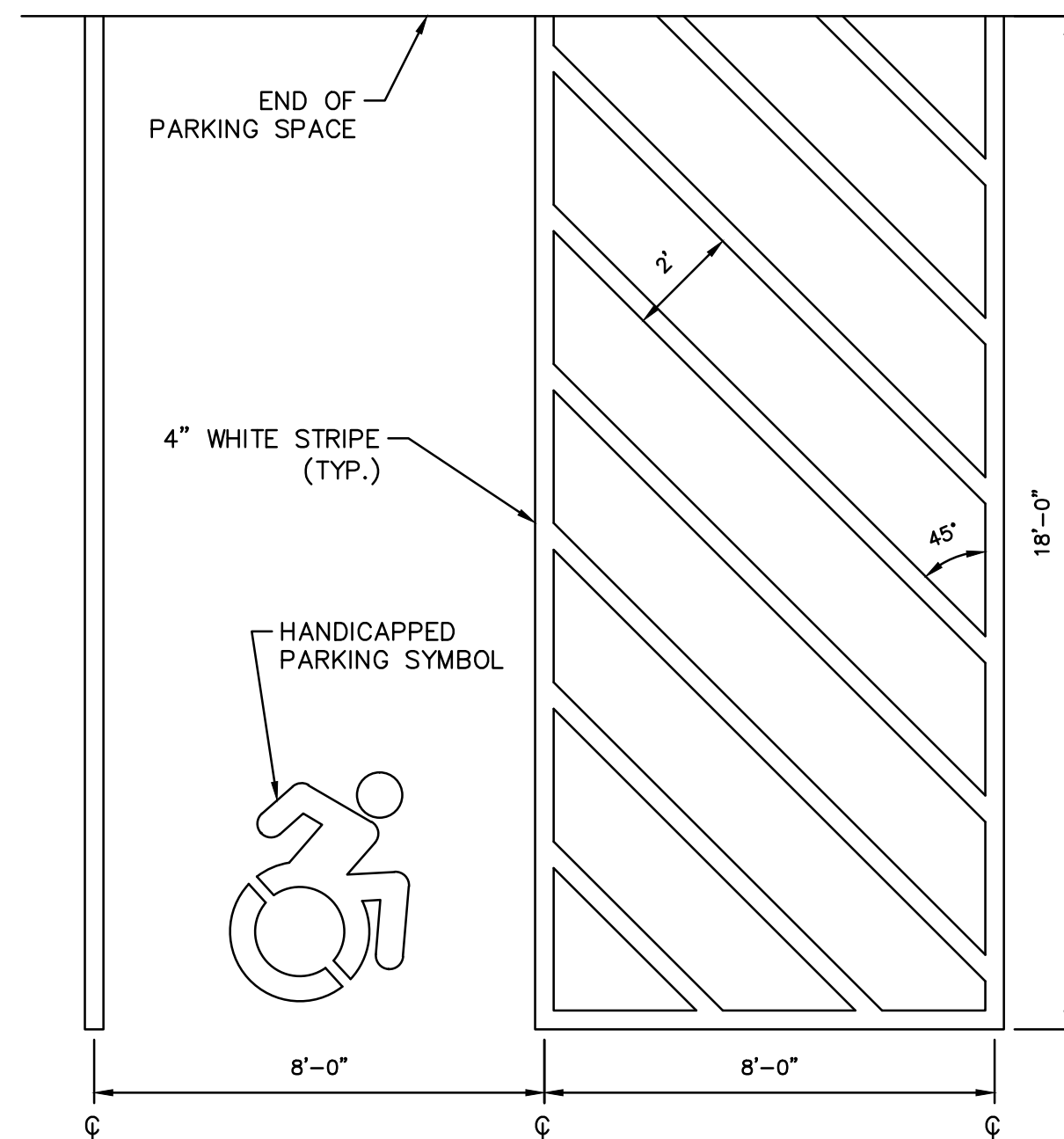


NOTES:

- ARROWS SHALL BE CENTERED IN TRAVEL LANE.
- COLOR: WHITE
- PAVEMENT ARROWS SHALL BE SOLID.

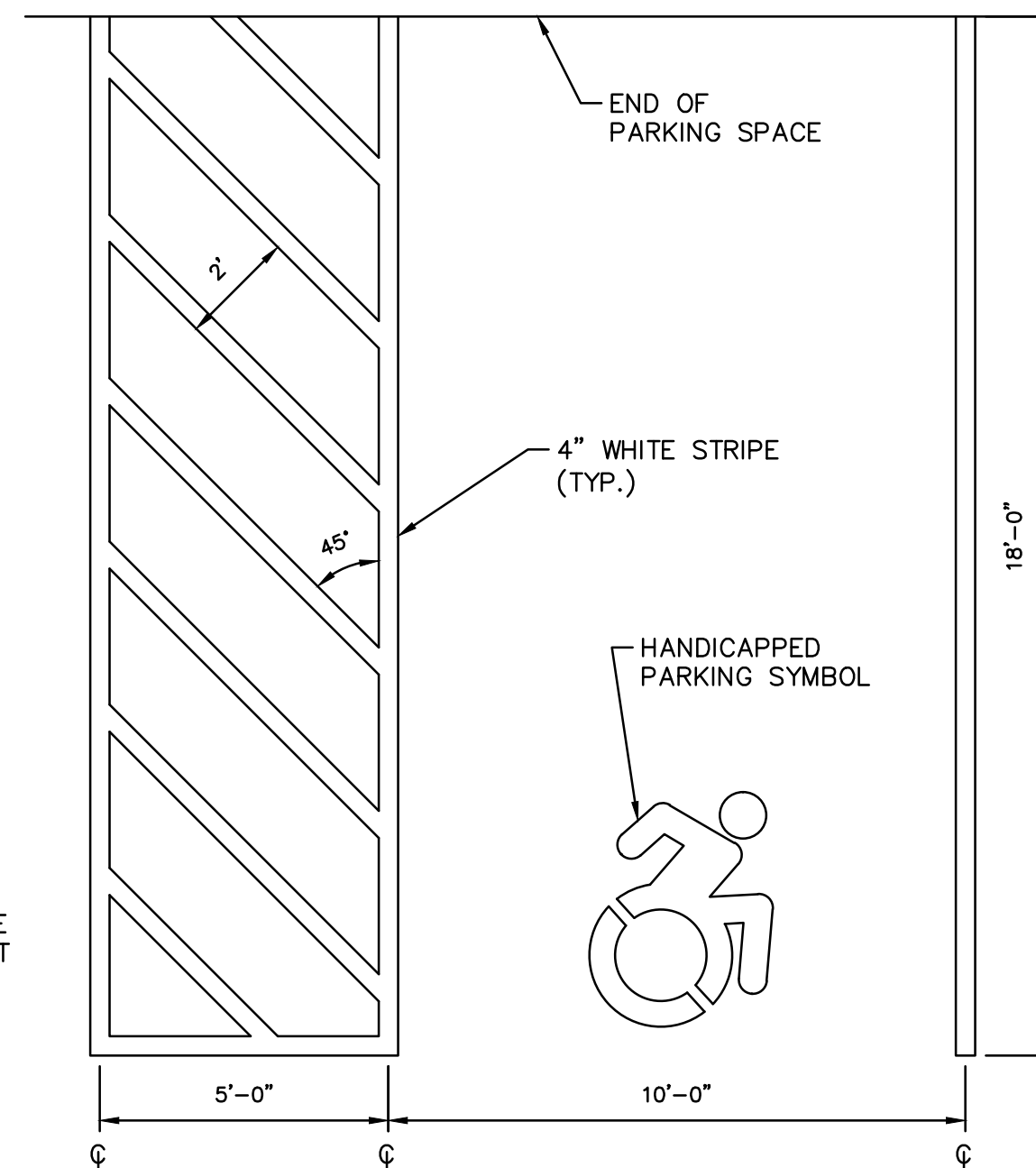
PAVEMENT ARROW

N.T.S.



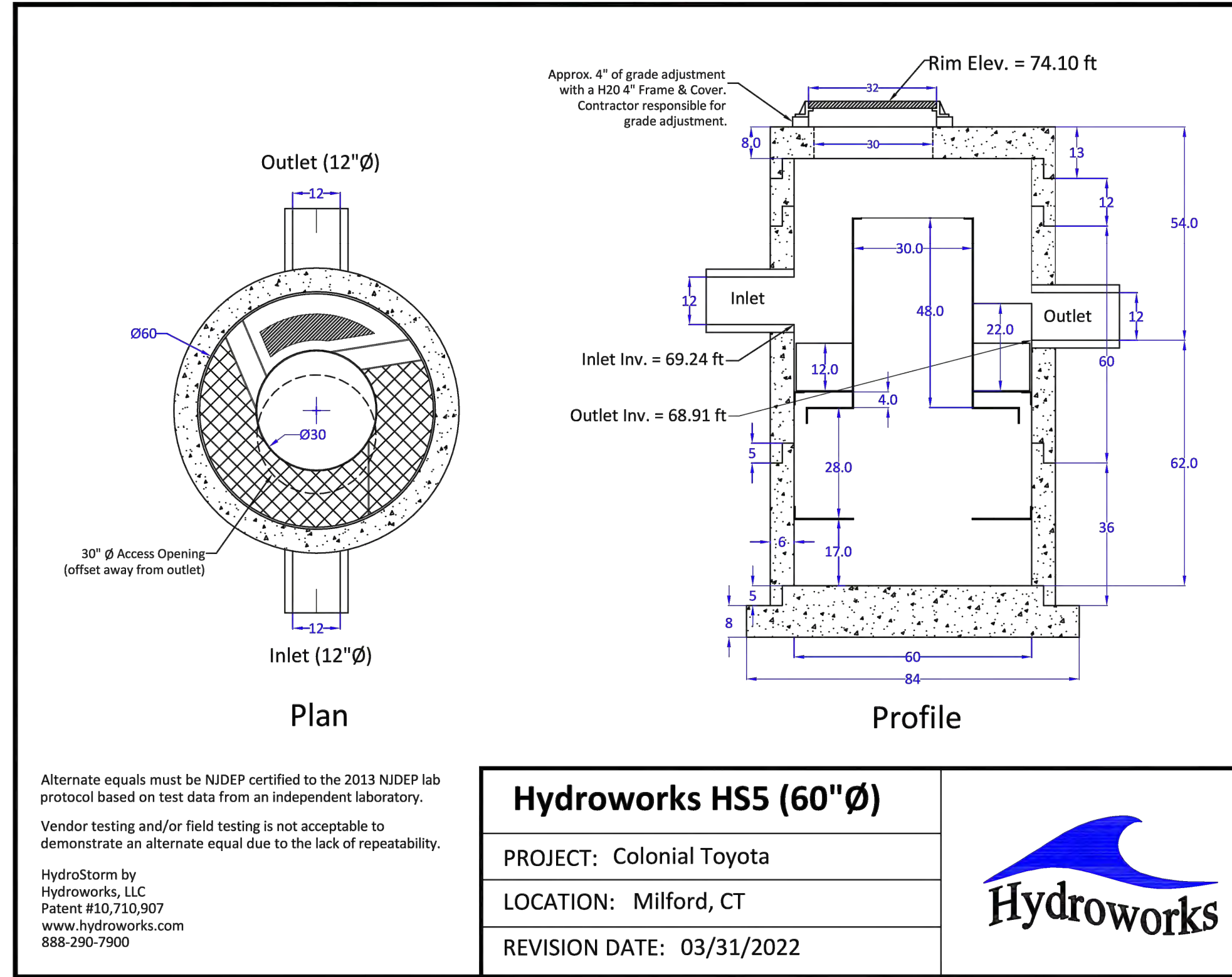
VAN ACCESSIBLE PARKING SPACE

N.T.S.



STANDARD ACCESSIBLE PARKING SPACE

N.T.S.



Plan

Profile

Hydroworks HS5 (60"Ø)

PROJECT: Colonial Toyota

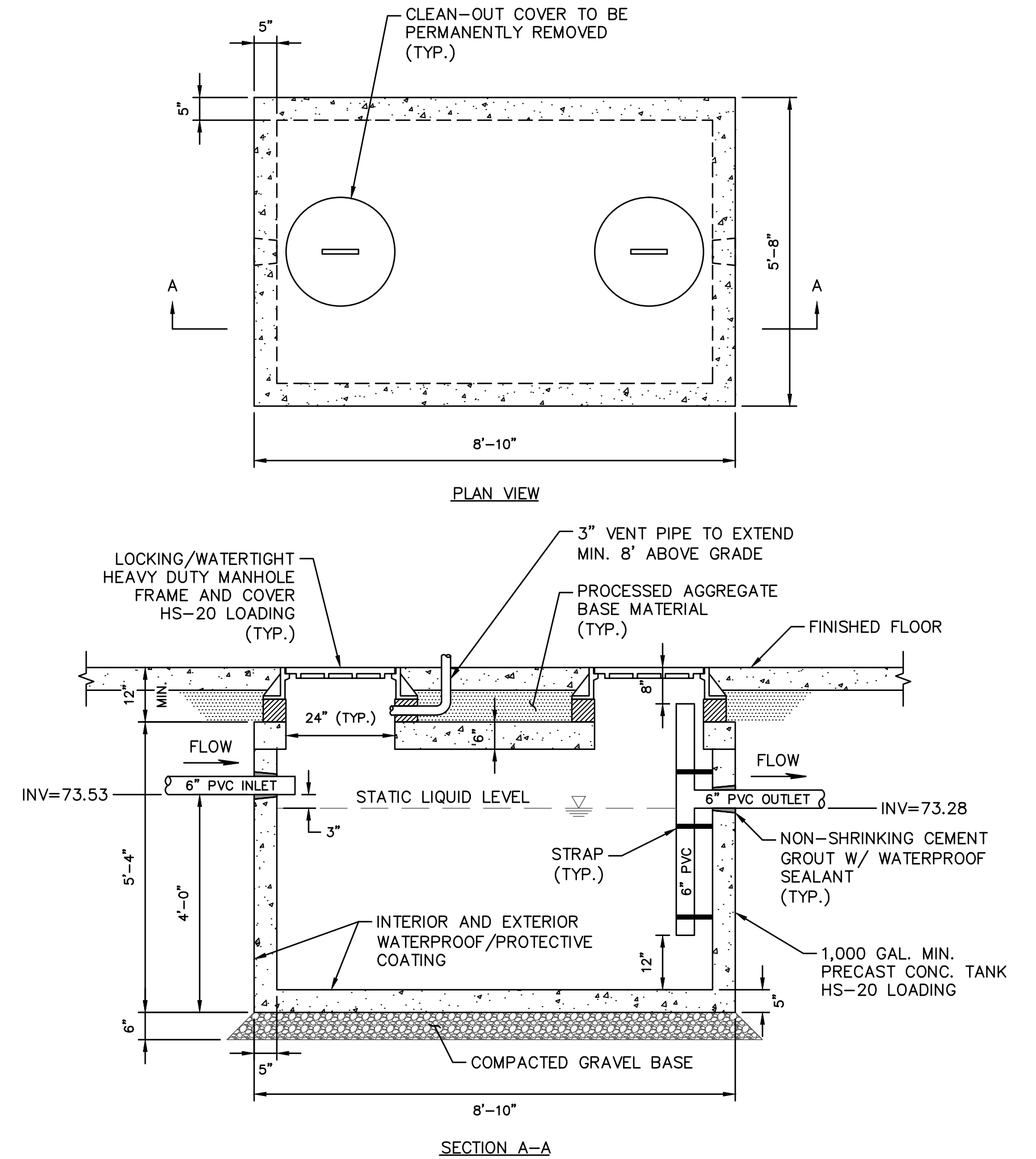
LOCATION: Milford, CT

REVISION DATE: 03/31/2022



WATER QUALITY UNIT

N.T.S.



PLAN VIEW

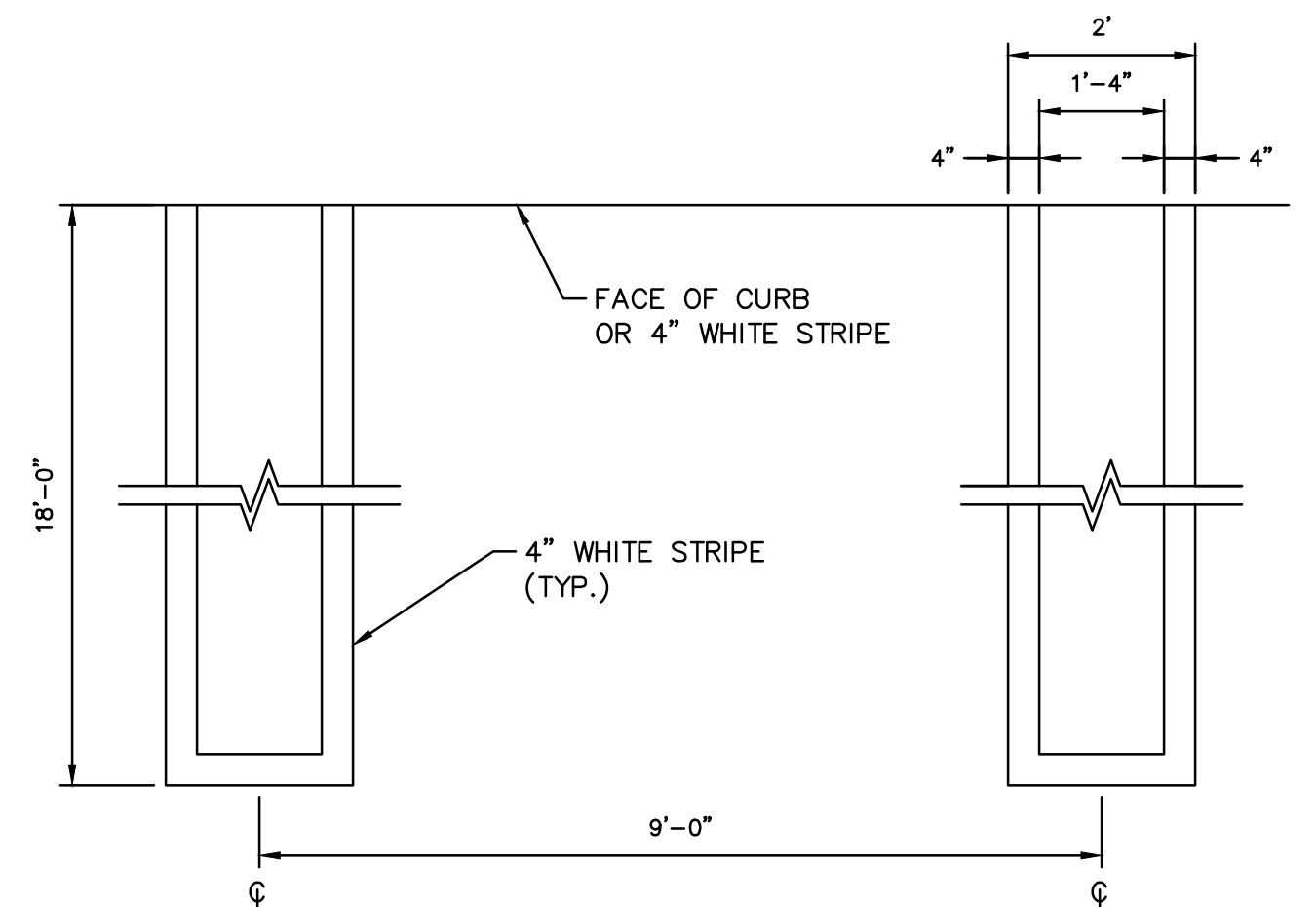
SECTION A-A

NOTES:

- OIL/WATER SEPARATOR SHALL BE AS MANUFACTURED BY CONNECTICUT PRECAST CORPORATION, MONROE, CONNECTICUT, OR APPROVED EQUAL.
- CONCRETE - 4,000 PSI - 28 DAYS.
- JOINTS SHALL BE SEALED WITH BUTYL RUBBER SEALANT.

1,000 GALLON OIL/WATER SEPARATOR

N.T.S.



TYPICAL PARKING SPACE STRIPING

N.T.S.

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Revisions			Project Title
No.	Date	Description	
1	07/01/22	REV WATER QUALITY UNIT	COLONIAL TOYOTA "SERVICE CENTER" BUILDING EXPANSION 470 BOSTON POST ROAD MILFORD, CONNECTICUT
2	07/29/22	ADDED REV. DATE FOR CONTINUITY	

Project Title

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT



Westcott and Mapes, Inc.

Consulting Engineers since 1916

142 Temple Street, Suite 202
New Haven, CT 06510
Telephone: (203) 789-1260
E-mail: info@westcottandmapes.com

Seal

Drawing Title

CONSTRUCTION
DETAILS

Designed RGP Date 03/09/2022

Drawn NWE Scale AS NOTED

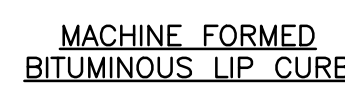
Approved

Project No. 21-090-10

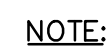
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CD-2

Sheet No.



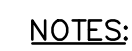
N.T.S.



1/2" PREMOLDED EXPANSION JOINTS SHALL BE INSTALLED AT 24' O.C. MAX. UNLESS OTHERWISE SPECIFIED.

STANDARD 6" HT. CONCRETE CURB

N.T.S.



1. ALL PAVED AREAS SHALL HAVE A MINIMUM OF 8" OF PROCESS AGGREGATE BASE MATERIAL BENEATH THE BINDER COURSE. RECLAMATION OF EXISTING MATERIAL MAY BE SUITABLE IN SOME AREAS OF EXISTING PARKING RECONSTRUCTION; CONFIRM WITH ENGINEER.
2. ALL EXISTING BASE MATERIAL OR RECLAIMED MATERIAL SHALL BE PROOF ROLLED TO THE SATISFACTION OF THE ENGINEER. SOFT YIELDING MATERIAL SHALL BE REMOVED AND REPLACED WITH A MINIMUM OF 8" OF NEW COMPACTED PROCESS AGGREGATE BASE MATERIAL AS DIRECTED BY THE ENGINEER.
3. IN THE AREAS OF FILL, COMPACTED GRANULAR FILL SHALL BE USED TO ACHIEVE PROPER GRADES BENEATH THE BASE MATERIAL LAYER.
4. COMPACTED GRANULAR FILL MATERIAL SHALL COMPLY WITH CONNECTICUT (CONN) DOT FORM 818, SECTION M.02.01.
5. ALL MATERIALS SHALL BE COMPACTED TO NO LESS THAN 95 PERCENT OF THE DRY DENSITY FOR THE SOIL WHEN TESTED IN ACCORDANCE WITH AASHTO T180 METHOD 'D'.

FULL DEPTH PAVEMENT REPAIR

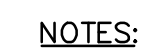
N.T.S.



N.T.S.



N.T.S.



1. 1/2" PREMOLDED EXPANSION JOINTS SHALL BE INSTALLED AT 25' O.C. MAX, UNLESS OTHERWISE SPECIFIED.
2. EACH SLAB SHALL BE DIVIDED UP INTO SECTIONS BY FORMING SCORING JOINTS WITH A JOINTING TOOL. SCORING JOINTS SHALL BE 5' O.C. AND SHALL BE EVENLY SPACED ALONG THE LENGTH OF THE SLAB.
3. THE OUTSIDE EDGES OF THE SLAB AND ALL EXPANSIONS JOINTS SHALL BE EDGED WITH A 1/4" RADIUS EDGING TOOL.

INTEGRAL CONCRETE WALK AND CURB

N.T.S.



N.T.S.

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Project Title

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT



142 Temple Street, Suite 202
New Haven, CT 06510
Telephone: (203) 789-1260
E-mail: info@westcottandmapes.com

Se

Drawing Title

CONSTRUCTION DETAILS

Designed	RGP	Date	03/09/2022
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Drawn	NWE	Scale	AS NOTED
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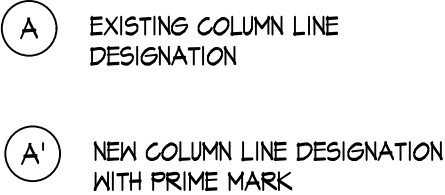
Approved	
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21-090-10 CD-3

Project No.	CD 3
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CD-3

Sheet No.

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ISSUED

06.12.21	PDF TO W&M
01.18.22	PRELIMINARY REVIEW SET
01.24.22	PRELIMINARY REVIEW SET
03.02.22	PRELIMINARY REVIEW SET
03.09.22	MILFORD P&Z REVIEW SET
04.18.22	W12 STRUCTURE REVIEW DWG
06.8.22	REVIEW DWGS
06.23.22	FINAL REVIEW DWGS
07.29.22	P & Z REVIEW DWGS

CLIENT

COLONIAL TOYOTA
470 BOSTON POST RD
MILFORD, CT 06461

SHEET TITLE

NEW BUILDING FLOOR PLAN

SCALE	1/8" = 1'-0"	DATE	06/23/22
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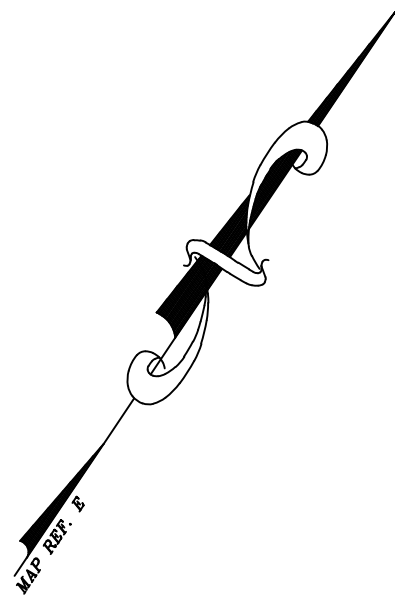
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DRAWN BY TT/JR

PROJECT #	TOY004
CAD #	A-1

STAMP

A-1
SHEET NO

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THE DRAWING REPRESENTATION SHOWN ARE NOT TO BE ALTERED IN WHOLE OR IN PART AND EXTRACTING DRAWINGS DETAILS TO BE USE WITHIN SHOP DRAWINGS IS PROHIBITED, UNLESS THERE IS WRITTEN AUTHORIZATION FROM THE ARCHITECT, JOHN RUFFALO III

ISSUED
06.12.21 PDF TO W&M
01.18.22 PRELIMINARY REVIEW SET
01.24.22 PRELIMINARY REVIEW SET
03.02.22 PRELIMINARY REVIEW SET
03.09.22 MILFORD P&Z REVIEW SET
04.18.22 W12 STRUCTURE REVIEW DWG
06.8.22 REVIEW DWGS
06.23.22 FINAL REVIEW DWGS
07.29.22 P & Z REVIEW DWGS

CLIENT

COLONIAL TOYOTA
470 BOSTON POST RD
MILFORD, CT 06461

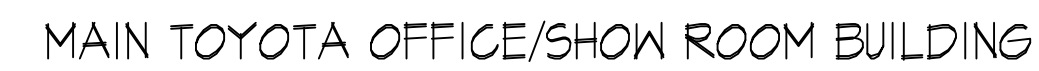
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NEW BUILDING EXTERIOR
FRONT & REAR
ELEVATIONS

SCALE 1/8" = 1'-0" | DATE 06/23/22

CHECKED BY _____

DRAWN BY	TT/JR	PROJECT #
		TOY004
		CAD #
		A-2.0
STAMP		<div style="font-size: 2em; font-weight: bold;">A-2.0</div> <div style="font-weight: bold;">SHEET NO</div>

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THE DRAWING REPRESENTATION
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06.23.22 FINAL REVIEW DWGS
07.29.22 P & Z REVIEW DWGS

CLIENT
COLONIAL TOYOTA
470 BOSTON POST RD
MILFORD, CT 06461

SHEET TITLE

NEW BUILDING EXTERIOR
SIDE & INTERIOR
ELEVATIONS

SCALE	1/8" = 1'-0"	DATE	06/23/22
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CHECKED BY _____

DRAWN BY		TT/JR	
		PROJECT #	
		TOY0004	
		CAD #	
		A-2.1	
STAMP		A-2.1	

KEY	QTY	BOTANICAL/COMMON NAME	SIZE AT INSTALLATION	
ARA	1	ACER x FREEMAN! 'ARMSTRONG GOLD' / COLUMNAR RED MAPLE	3-1/2" - 4" CAL. B&B	*
BSBF	51	BUXUS SINICA INSULARIS! KOREAN BOXWOOD 'WINTER GEM'	15"-18" HT. & SPREAD	
CWNG	4	CARPINUS BETULUS 'FRANS FONTAINE'	8' HT. UNIFORM	*
PT	5	PARTHENONICISSUS TRICUSPIDATA 'PENWAY PARK' BOSTON IVY, VETULUS 'PENWAY PARK'	2 GAL. W/ 4" STEM	

EXISTING DECIDUOUS TREES (PICTORIAL--NO INDIVIDUAL TREES LOCATED)

NEW SHADE TREE

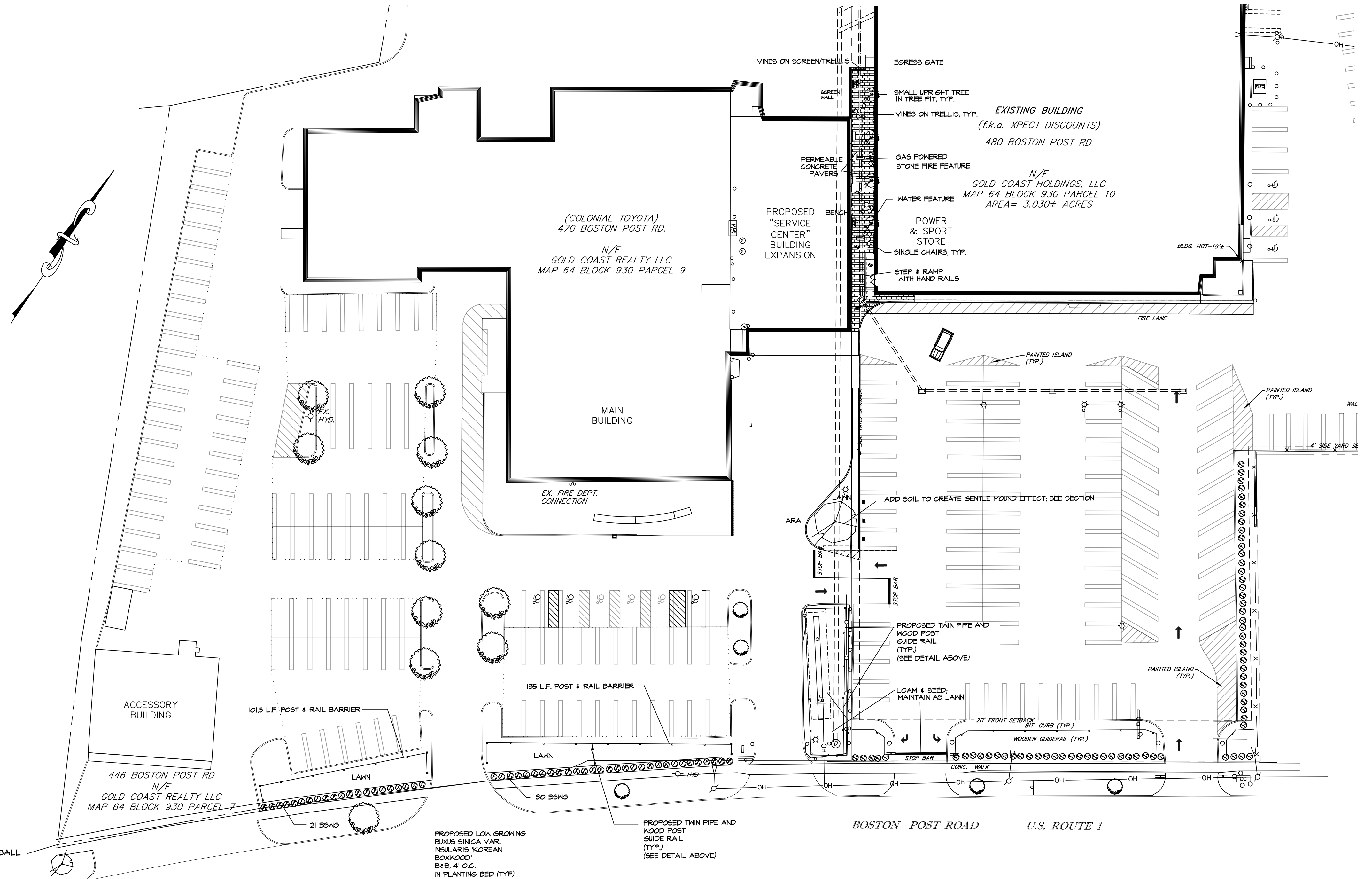
SMALL TREE, I.E. DOGWOOD, SERVICEBERRY, ETC.

NEW EVERGREEN TREE

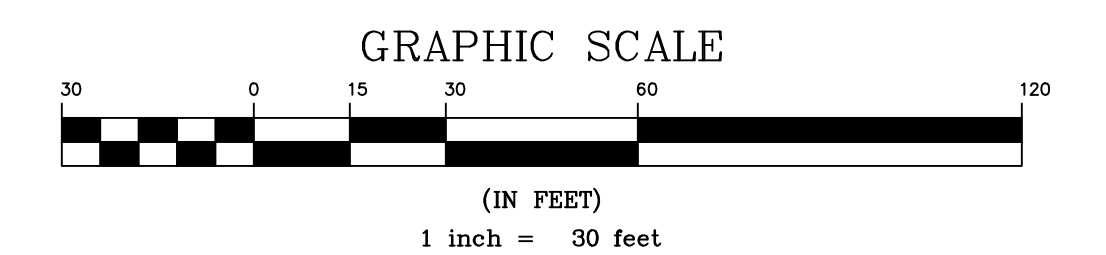
NEW SITE LIGHT



3. Botanical names shall prevail over common names.
2. Plants shall be nursery grown unless otherwise noted on these plans and shall conform to the standards of the American Association of Nurserymen in all ways.
3. All trees are to be approved and tagged by the Landscape Architect. The Landscape Architect may reject any plant material if it does not conform to the specifications or if it shows signs of damage by handling or transport.
4. No substitutions shall be made without the approval of the Landscape Architect.
5. Quantities shown on the drawings take precedence over the plant list. Report all discrepancies immediately.
6. All plant materials shall be balled and burlapped or container grown.
7. Plants shall be planted in locations designated on the plan or as staked out by the Landscape Architect prior to planting.
8. All plants are to be set so the top of root ball will be even with finished grade after any settlement occurs. Plants that settle must be re-set.
9. Planting mix shall consist of 6 parts soil taken from the hole & one part peat moss. Add M-Roots in 1:100 watered in solution and mix in Terrasorb to mfgs. recommendation.
10. All new plants shall be mulched with 3" of an approved shredded bark. No dyed woodchips.
11. Maintenance shall begin immediately after each plant is planted and shall continue until acceptance. Plants shall be watered, remulched, weeded, pruned, sprayed, fertilized, cultivated, and otherwise maintained and protected. Defective work shall be corrected as soon as possible after it becomes apparent and weather and season permit. Contractor shall remove from the site excess soil and debris and repair any damage resulting from planting operations.
12. All plant material shall be guaranteed to be alive and thriving one year after acceptance. All replacements shall be plants of the same kind and size specified. The cost shall be borne by the Landscape Contractor except for replacements resulting from loss or damage due to vandalism or acts of neglect on the parts of others.
13. Topsoil shall be provided in plant beds and in lawn areas to a settled, compacted depth of not less than six inches. Soil shall be from a source approved by the Landscape Architect. Topsoil shall be free of roots, rubbish of all kinds, and stones larger than 1". The contractor shall submit test samples of the soil to an acceptable laboratory obtaining the soil's characteristics, organic content, pH, and nutrient status.
14. Lawn areas shall be seeded with a seed mix approved by the Landscape Architect, sown at the rate of 4#/1000 s.f. and protected by a suitable mulch. Seeding shall be restricted to the periods of April and May in the spring, and from August 15 to October 15 in the Fall. Contractor is responsible to water, weed, fertilize, and mow seeded areas until an even stand of weed-free turf is established (usually after 3 cuttings).



1" = 30 FEET



Revisions		
No.	Date	Description
1	8-18-22	REMOVE SERVICE CTR WINDOWS, DOOR
2	11-30-22	REMOVE PAVT ON AUTO ISLAND, ADD BARRIER, ESTABLISH LAWN

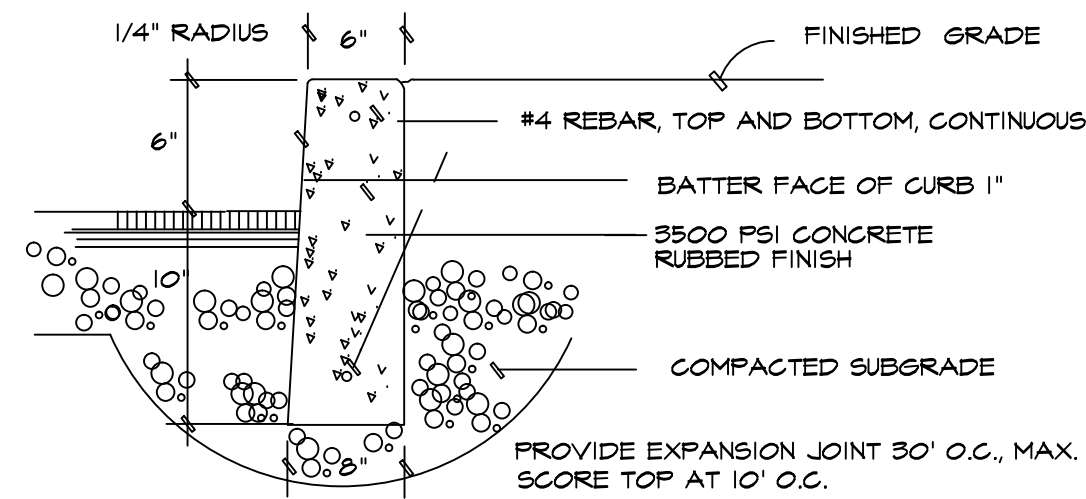
COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT

26 Crown Street, Milford, CT 06460-6411
(203) 874-6474 swla@optonline.net

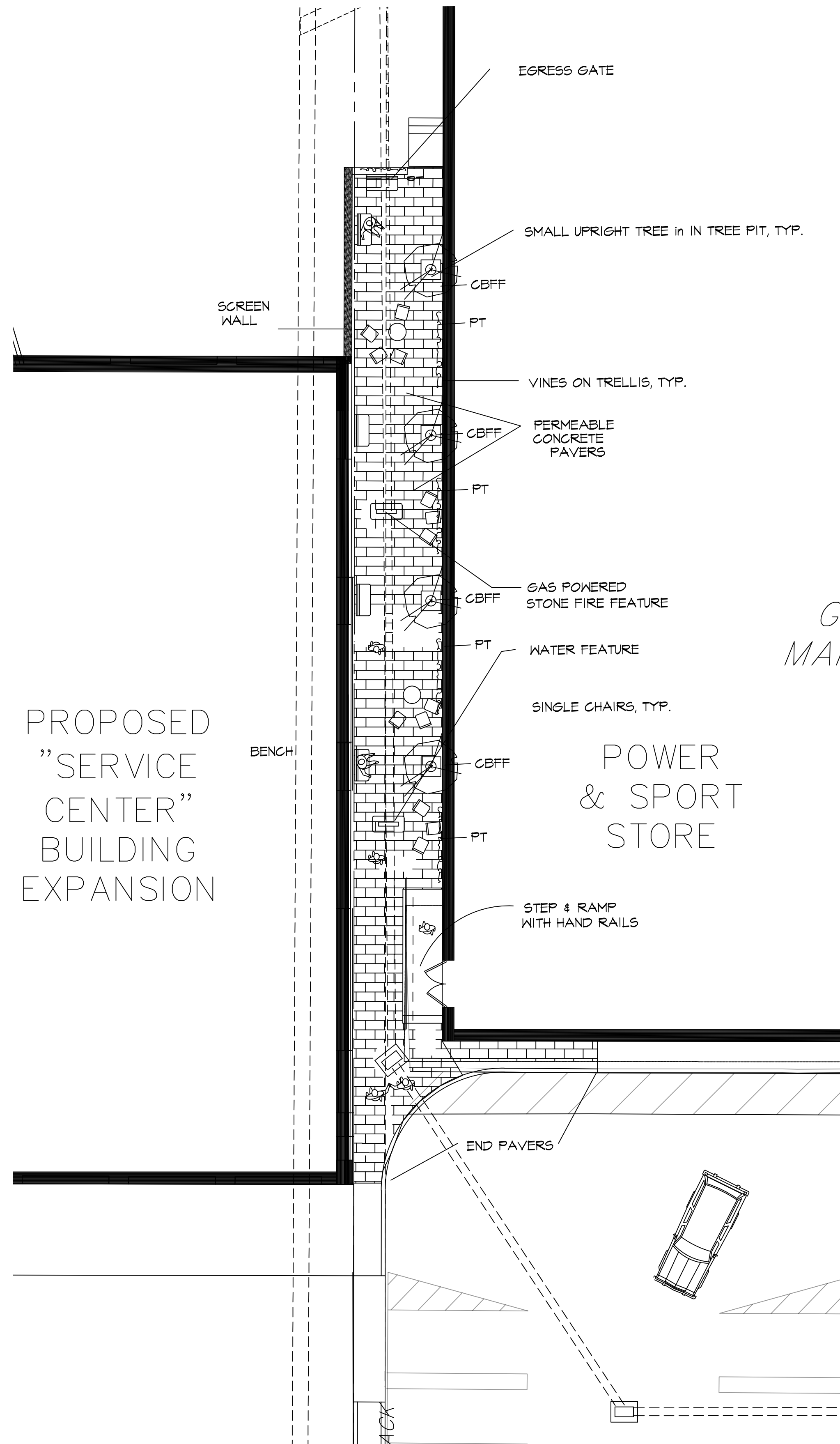
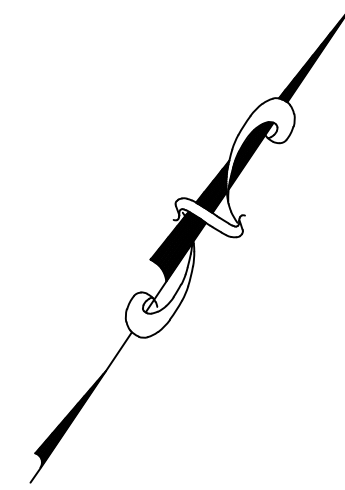
Overall Landscape Plan

L I

FILE NAME: G:\LAND PROJECTS 2004\RUFFALO - TOYOTA MILFORD\SWLA L-1 11-30-22.DWG



Concrete Curb



Courtyard Plan

1" = 10'

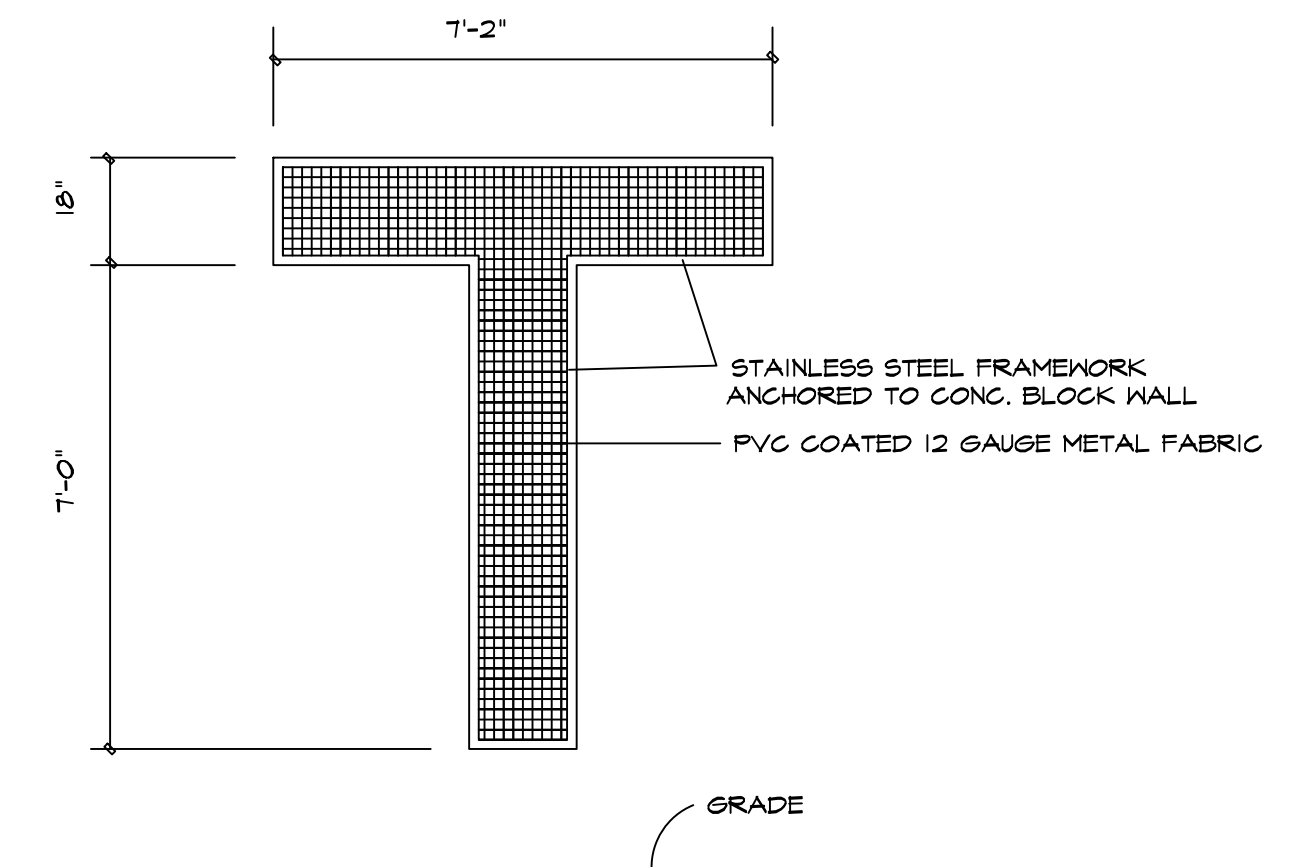
LEGEND

- EXISTING DECIDUOUS TREES (PICTORIAL--NO INDIVIDUAL TREES LOCATED)
- NEW SHADE TREE
- SMALL TREE, I.E. DOGWOOD, SERVICEBERRY, ETC.
- NEW EVERGREEN TREE



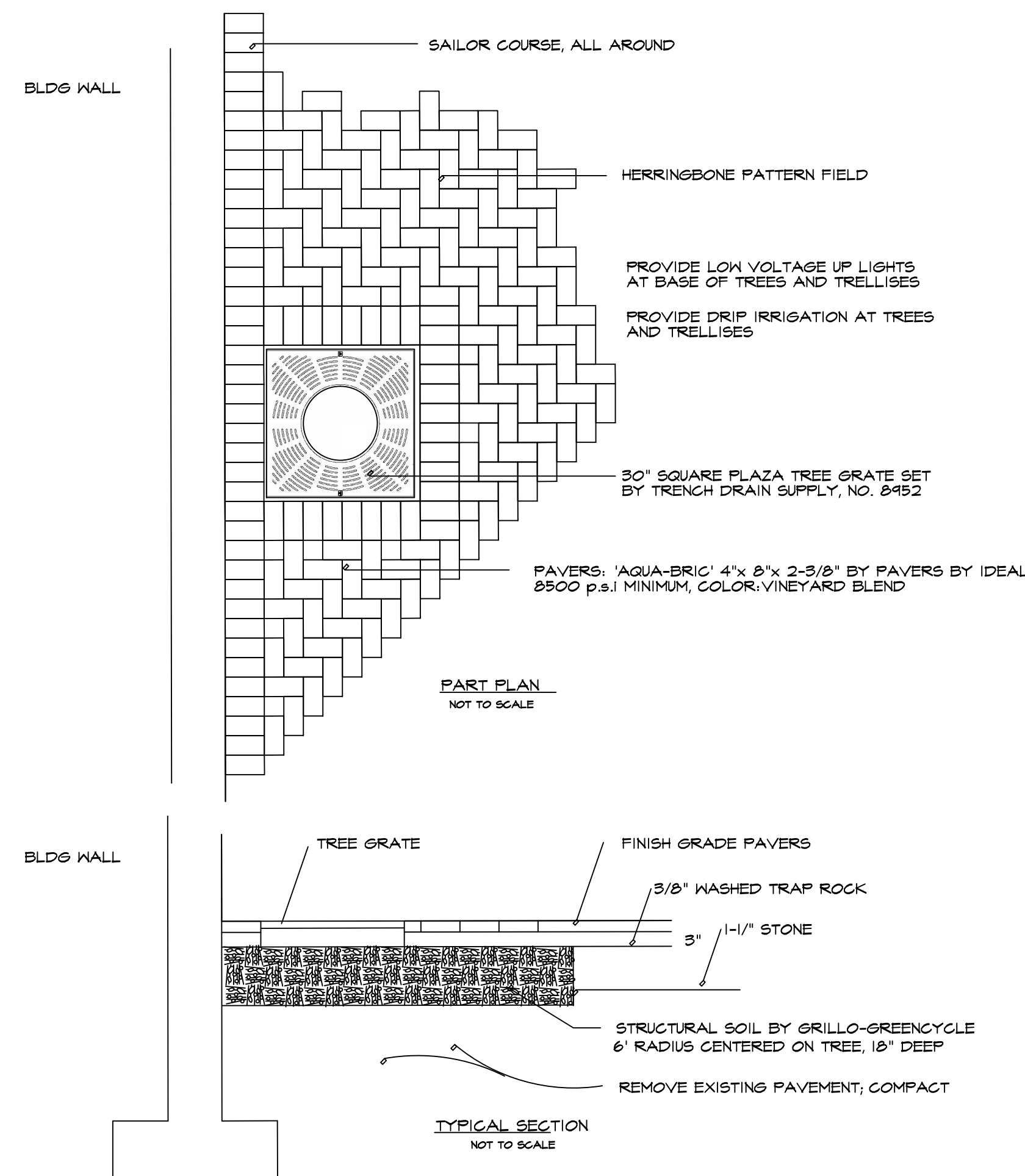
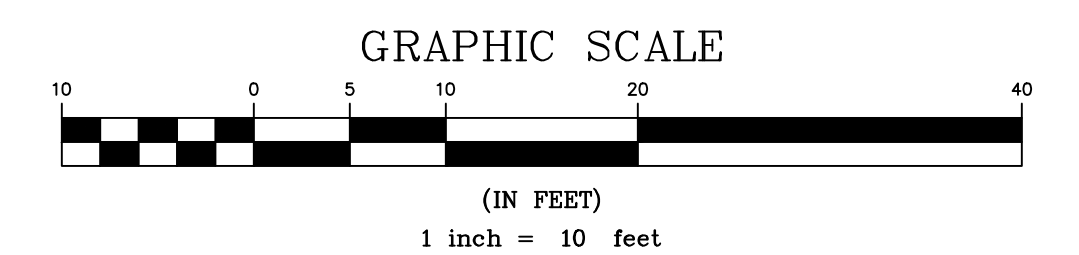
Berm at new Landscape Island

NOT TO SCALE



'T' Trellis

NOT TO SCALE



Courtyard Paving

NOT TO SCALE

Revisions		
No.	Date	Description
1	8-18-22	REMOVE SERVICE CTR WINDOWS, DOORS
2	11-30-22	REMOVE 'AUTO ISLAND'; ADD BARRIER

Project Title

COLONIAL TOYOTA
"SERVICE CENTER"
BUILDING EXPANSION
470 BOSTON POST ROAD
MILFORD, CONNECTICUT

Stephen Wing, Landscape Architect, ASLA

26 Crown Street, Milford, CT 06460-6411
(203) 874-6474 swla@optonline.net

Seal

Drawing Title

Courtyard Plan
and Details

Designed SSW	Date 7-1-2022
Drawn SSW	Scale 1" = 10'
Approved SSW	L-2
2022-1 Project No.	
TOYOTA File Name	
Sheet No.	